



GRAHAM COUNTY, NORTH CAROLINA

Invitation for Re-Bid #: 23-IFB-GRAHAM-CDBG-1

## RESIDENTIAL CONSTRUCTION SERVICES

### CDBG-NR Reconstruction

Date Issued: September 7, 2023

Re-Bid Opening Date: **September 28, 2023 at 2:00pm EST**

**Direct all inquiries concerning this IFB to:**

Travis Old  
Housing Rehabilitation Specialist  
Email: [travis@currituckhomes.com](mailto:travis@currituckhomes.com)  
Phone: 252-202-4945



Contents

INTRODUCTION ..... 3

    BACKGROUND ..... 3

    PURPOSE ..... 4

GENERAL INFORMATION..... 4

    NOTICE TO BIDDERS ..... 4

    IFB SCHEDULE..... 5

    SITE INSPECTIONS ..... 5

    PRE-BID CONFERENCE..... 5

    BID QUESTIONS:..... 5

    WRITTEN RESPONSE: ..... 6

    BID CONTENTS: ..... 6

    BID SUBMISSION:..... 6

    BID REVIEW:..... 7

    CONTRACT AWARD ..... 7

    BID TERMS AND CONDITIONS:..... 8

    Explanation to Bidders: ..... 8

        Confidentiality and Prohibited Communications:..... 8

REQUIREMENTS: ..... 8

    PRICING ..... 8

    GENERAL CONTRACTOR’S LICENSE AND CONTRACTOR QUALIFICATIONS..... 8

    FINANCIAL STABILITY..... 9

    BONDS..... 9

    INSURANCES..... 9

    M/WBE, HUB, DBE, AND SECTION 3 PARTICIPATION ..... 9

    EQUAL OPPORTUNITY EMPLOYER..... 9

    RECORDKEEPING ..... 10

    COPELAND ACT PROVISION ..... 10

    PERSONNEL ..... 10

    OPTIONAL BACKGROUND CHECKS ..... 10

    ASSIGNMENT..... 10

SCOPE OF WORK ..... 10

    DESCRIPTION OF SERVICES AND REQUIREMENTS ..... 10

Demolition Phase ..... 11

Reconstruction Phase..... 11

Warranty Phase..... 11

ADDITIONAL SCOPE OF WORK REQUIREMENTS ..... 11

SPECIFIC PROJECT INFORMATION ..... 12

Project 1: 708 Mountain Creek Rd, Robbinsville, NC 28771 ..... 12

    Electrical Requirements ..... 13

    Plumbing Requirements..... 13

    Mechanical/HVAC Requirements..... 14

Project 2: 297 Cotton Tail Lane, Robbinsville, NC 28771 ..... 14

    Electrical Requirements ..... 15

    Plumbing Requirements..... 15

    Mechanical/HVAC Requirements..... 15

INTRODUCTION

Graham County is soliciting bids from licensed general contractors to perform or cause to be performed the demolition and reconstruction of single-family houses throughout Graham County. Homes are to be constructed according to the specifications outlined herein this IFB and any additional construction specification documents attached hereto.

Bids will be received by Graham County, North Carolina (hereinafter referred to as “County”) at the Graham County Municipal Building – Office of County Manager until 2:00pm on September 28, 2023, then at 2:00pm on September 28, 2023, in the Board Room of the Graham County Commissioners, the bids will be publicly opened and read aloud.

BACKGROUND

Graham County was awarded a \$750,000 grant through the Community Development Block Grant – Neighborhood Revitalization (CDBG-NR) program. CDBG-NR uses federal funding, administered by the U.S. Department of Housing and Urban Development.

All project activities must meet at least one of the three national objectives to be eligible for funding.

The three national objectives are:

- 1) benefit low-to-moderate income persons.
- 2) prevent or eliminate slums or blight.
- 3) meet other community development needs that are deemed urgent because of existing conditions that pose a serious and immediate threat to the health and welfare of the community.

The State of North Carolina through its Department of Commerce and the Rural Economic Development Division embraces those objectives and additionally requires local governments to uphold three key principles through project activities:

- 1) promote equitable, affordable housing.
- 2) support existing communities.
- 3) value the unique characteristics of all communities.

Graham County upholds the State's principles and works towards the national objectives by bringing together elected officials, employees, contractors, and consultants to enhance the local community and to help citizens who seek housing assistance as much as the County is able.

## PURPOSE

The purpose of this Invitation for Re-bid (IFB) is to contract with a properly licensed general contractor who will perform or cause to be performed the demolition and reconstruction two homes in Robbinsville, NC.

The County intends to award one or two homes to one or more responsive bidders, depending on that respective bidder's capacity and the County's best interest. Time is of the essence.

## GENERAL INFORMATION

The IFB is comprised of this base IFB document, any attachments, and any addenda released before Contract Award. All attachments and addenda released for this IFB in advance of any Contract Award are incorporated herein by reference.

This IFB and all related documents and addendums will be made available upon request or on the County's website.

## NOTICE TO BIDDERS

It shall be the Bidder's responsibility to read these instructions, the County's terms and conditions, all relevant exhibits and attachments, and any other components that are a part of this IFB. It shall also be the Bidder's responsibility to comply with all requirements and specifications herein. Bidders are also responsible for obtaining and complying with all Addenda and other changes that may be issued concerning this IFB PRIOR to Contract Award.

If Bidders have any questions, issues, or exceptions regarding any term, condition, or other component of this IFB, those concerns must be submitted as questions in accordance with the instructions in the BID QUESTIONS section. If the County determines that any changes will be made because of a question asked, then such decisions will be communicated in the form of an IFB addendum.

Other than through the Question-and-Answer process, the County rejects and will not be required to evaluate or consider any additional or modified terms and conditions submitted with the Bidder's bid or otherwise. This applies to any language appearing in or attached to the document as part of the Bidder's bid that purports to vary any terms and conditions.

**By execution and delivery of this IFB response, a Bidder agrees that any additional or modified terms and conditions, whether submitted purposely or inadvertently, shall have no force or effect, and will**

**be disregarded. Noncompliance with, or any attempt to alter or delete, this paragraph shall constitute sufficient grounds to reject Bidder’s bid as nonresponsive.**

**IFB SCHEDULE**

<b>Event</b>	<b>Responsible Party</b>	<b>Date and Time</b>
<b>Issue IFB</b>	County	September 7, 2023
<b>Site Inspections</b>	Contractor	By Appointment
<b>Hold Pre-Bid Conference</b>	County	September 14, 2023 at 2PM EST
<b>Submit Written Questions</b>	Contractor	September 21, 2023 at 5PM EST
<b>Provide Written Responses</b>	County	September 22, 2023 at 5PM EST
<b>Submit Bids</b>	Contractor	September 28, 2023 at 2PM EST
<b>Contract Award</b>	County	TBD
<b>Substantial Completion</b>	Contractor	June 2023

**SITE INSPECTIONS**

Bidders are **invited and encouraged** to visit project sites prior to bidding.

No bidder shall be admitted onto the property or into the to-be-demolished structure unless the bidder has FIRST contacted the Housing Rehabilitation Specialist for an appointment. Homes currently are occupied. Visits must occur during normal business hours. Visits cannot occur after dark or before sunrise.

**PRE-BID CONFERENCE**

A non-mandatory pre-bid conference is scheduled for this IFB.

Bidders are **urged and cautioned** to attend the pre-bid conference and to apprise themselves of the requirements which will affect the performance of the work sought by this IFB.

The submission of a bid shall constitute sufficient evidence of this compliance, and no allowance will be made for unreported conditions which a prudent general contractor would recognize as affecting the performance of work sought by this IFB.

Bidders are cautioned, however, that any information released to attendees during the pre-bid conference, and which conflicts with, supersedes, or adds to the requirements of this IFB, must be confirmed by written addendum before it can be considered part of this IFB and any resulting contract.

Email [travis@currituckhomes.com](mailto:travis@currituckhomes.com) by 9:30am on September 14, 2023, the name and email address of the individuals attending the pre-bid conference. Include also, the company that everyone represents.

As a courtesy, Travis will email each named individual an invitation to join the pre-bid conference via Microsoft TEAMS.

**BID QUESTIONS:**

Upon review of the IFB documents—and perhaps, the construction sites, bidders may require answers to clarify or properly interpret the IFB to submit the best bid possible. To satisfy that requirement, bidders

shall submit any questions by the Submit Written Questions date and time provided in the IFB Schedule section, unless modified by addendum.

Questions related to the content of this solicitation or to the procurement process should be submitted via email to [travis@currituckhomes.com](mailto:travis@currituckhomes.com) AND to [dgale@withersravenel.com](mailto:dgale@withersravenel.com). Bidders will receive a notification of receipt upon submission.

**Late questions cannot and will not be accepted.** The Housing Rehabilitation Specialist will attempt to answer all relevant questions, however for best results, please ensure submitted questions are well-written.

#### WRITTEN RESPONSE:

Written Responses will be emailed to each Bidder who submits a question. Additionally, written responses will be made available via the IPS website.

If a written response is given to one interested bidder, then ALL bidders must review the response and SIGN the response addendum as part of the bid submission.

#### BID CONTENTS:

Each **complete** bid submission shall contain the following information:

- SIGNED Bid Form – ATTACHMENT A
- SIGNED Blueprint Review Document – ATTACHMENT B
- SIGNED Written Response Addendum, if issued
- COMPLETED Contractor Qualification Statement – ATTACHMENT D
- PHOTOCOPY of North Carolina General Contractor's License

Due to the estimated cost of construction and North Carolina General Contractor license law (G.S. 87), all bids must be submitted by a licensed general contractor. Failure to provide evidence of an active North Carolina general contractor's license will result in bid rejection.

Failure to provide all required items, or Bidder's submission of incomplete items, may result in the County rejecting Bidder's bid.

#### BID SUBMISSION:

Each bid must be submitted in a sealed envelope. Each sealed envelope must be plainly marked on the outside as "BID for GRAHAM COUNTY CDBG-NR."

Bids may be submitted by hand or mailed, and all bids must be received by 2:00pm on September 28, 2023.

Hand delivered bids should be delivered to:

**Graham County County Manager  
196 Knight Street  
Robbinsville, NC 28771**

Those who choose to hand deliver bids should sign a bid submission sheet prior to leaving the Office of County Manager.

Mailed bids should be mailed to:

**Graham County – CDBG-NR  
Office of County Manager  
196 Knight Street  
Robbinsville, NC 28771**

Bids submitted by mail must be received at the Office of County Manager by 2:00pm on September 28. It is the sole responsibility of the submitting party to ensure that the bid arrives at Graham County Municipal Building – Office of County Manager by 2:00pm.

Once submitted, bids may NOT be withdrawn for up to 30 days after the date of opening.

#### **BID REVIEW:**

Following the opening and public reading of the bids, the County will enter a review process wherein each complete bid will be thoroughly reviewed.

The review process begins by ensuring that each bid contains every required element. If any bid is found to be conditional upon terms not within this IFB or any related addendum, it will be rejected during that initial review. At the conclusion of that initial review, complete bids are deemed responsive.

The County will then review the pricing of each responsive bid. Once the County has ranked bidders by price, the County will then begin to identify the MOST RESPONSIBLE bidder.

During this review process, the County may make any investigation as it deems necessary to determine the ability of the bidder to perform the work. The bidder is obligated to comply with any normal requests for information that the County requires between Bid Submission and Contract Award. If evidence of insolvency or a history of poor workmanship is found, then the bid may be rejected.

Once the County has identified the most responsible bidder or bidders, then the county will seek to identify the lowest and most responsible bidder.

Bidders are cautioned that while the County seeks to contract with one or more successful bidder(s), this is an Invitation for Re-bid, not a request or offer to contract. Until a contract has been drafted and extended to the successful bidder(s), the County reserves the unqualified right to reject all offers at any time if such rejection is deemed in the best interest of the County.

#### **CONTRACT AWARD:**

The County seeks to award contracts to the lowest AND most responsible bidders. All award decisions shall be in the County's best interest, and if awarded, this IFB will be awarded in accordance with State and Federal law.

The County will reach out to the successful bidders no later than 30 days after bid opening.

The County reserves the right to award all bids to one bidder or to award each project to a different bidder, depending on that bidder's capacity and the County's best interest. Furthermore, if a bidder submits multiple low bids at bid opening, the County reserves the right to limit the number of contracts a bidder is awarded.

After Contract Award and AFTER the County has entered a contractual relationship with one or more successful bidder(s), any bidder may receive a bid tabulation by contacting the Housing Rehabilitation Specialist. Bid tabulations will be released only to those who submit a bid or as required by law.

#### **BID TERMS AND CONDITIONS:**

The following clauses shall govern this IFB. Any bidder found to be in violation of these terms and conditions shall be disqualified from an award.

#### **Explanation to Bidders:**

Bidder is responsible for knowing the labor and materials necessary to complete Scope of Work. Any explanation desired by a Bidder regarding the meaning and interpretation of the advertisement for bids, drawings, specifications, etc., must be submitted in writing.

#### **Confidentiality and Prohibited Communications:**

From the issuance date of this IFB through the date of contract award, each responsive bidder (including its representatives, subcontractors, and/or suppliers) is prohibited from having any communications with any person inside or outside the County Government, if that communication refers to the contents of the bidder's bid or qualifications, the contents of another bidder's bid, another bidder's qualifications or ability to perform, and/or the transmittal of any other communication or information that could be reasonably considered to have the effect of directly or indirectly influencing the evaluation of bids and/or the award of any resulting contract.

#### **REQUIREMENTS:**

This section lists the requirements related to this IFB. By submitting a bid, the Bidder agrees to meet all stated requirements in this section. If a Bidder is unclear about a requirement or specification or believes that a change to a requirement would allow for the County to receive a better bid, then the Bidder is urged to submit those items in the form of a question during the question-and-answer period in accordance with the Bid Questions section above.

#### **PRICING**

Prices, submitted on the Bid Form, shall constitute the total cost to the County for complete performance in accordance with the requirements and specifications herein. Prices shall include all applicable charges for any permits, handling, transportation, storage, administration, overhead, materials, labor, profit, or other similar fees associated with the work outlined herein.

#### **GENERAL CONTRACTOR'S LICENSE AND CONTRACTOR QUALIFICATIONS**

Bidder **MUST** submit a copy of their **ACTIVE** and **VALID** North Carolina General Contractor's license, and Bidder **MUST** complete the Contractor Qualifications Statement.



## FINANCIAL STABILITY

By submitting a bid, the Bidder certifies by execution on the Bid Form that it has the financial capacity to perform and to continue to perform its obligations under a resulting contract; that the Bidder has no constructive or actual knowledge of an actual or potential legal proceeding being brought against the Bidder that could materially adversely affect performance of requested work; and, that entering into a resulting contract is not prohibited by any contract or order by any court of competent jurisdiction.

**A bidder is required under this section to notify the County within thirty (30) days of any occurrence or condition that materially alters the truth of any statement made in this Certification.**

## BONDS

The County requires performance and payment bonds from any Bidder. The County waives their right to receive a bid bond.

*NOTE: All payments of any resulting contract shall be a reimbursement of expenses incurred by the Contractor. The Contractor must spend money to receive a payment. No payment will be issued unless the work for that payment request has been completed.*

## INSURANCES

Commercial general liability insurance, worker's compensation insurance, and builder's risk insurance will be required by any resulting contract. Proof of commercial general liability and worker's compensation insurance will be required by responsive bidders prior to Contract Award, and builder's risk insurance will be required prior to construction start.

## M/WBE, HUB, DBE, AND SECTION 3 PARTICIPATION

Pursuant to the intentions and goals of Graham County Government, it is County policy to encourage and promote bids from small, minority, and female-owned businesses (M/WBE); historically underutilized businesses (HUB); disadvantaged business enterprise (DBE), and locally owned/operated business that provide employment and training opportunities to low-income individuals (Section 3).

Each bidder agrees to comply with the M/WBE, HUB, DBE, and Section 3 intentions and goals of Graham County Government.

To comply with the M/WBE, HUB, DBE, and Section 3 intentions and goals of Graham County Government, each bidder shall promote and encourage employment or subcontracting opportunities for M/WBE, HUB, DBE, and Section 3 businesses.

## EQUAL OPPORTUNITY EMPLOYER

Graham County is an Equal Opportunity Employer, and each contractor of the County is required to comply with Equal Opportunity Employment laws, particularly Executive Order 11246.

Executive Order 11246 requires affirmative action and prohibits federal contractors from discriminating based on race, color, religion, sex, sexual orientation, gender identity, or national origin.

To comply with Executive Order 11246, each Bidder must be and remain an Equal Opportunity Employer. Further, each Bidder must require that all employees and subcontractors abide by Executive Order 11246.

## RECORDKEEPING

Graham County, the State of North Carolina, the U.S. Department of Housing and Urban Development, the Comptroller General of the United States, or any of their duly authorized representatives, shall have access to any books, documents, papers, and records of the awarded Contractor, if they pertain to the execution of project work and are for the purposes of making audits, examinations, excerpts, and transcriptions.

## COPELAND ACT PROVISION

All parties to any resulting contract shall comply with the Copeland "Anti-Kickback" Act (18 USC 874) as supplemented in the Department of Labor Regulations (29 CFR, Part 3).

## PERSONNEL

Bidders warrants that qualified and competent personnel shall provide Services to the County under this Contract. All personnel or subcontractors shall behave in a professional manner, abiding by all applicable laws and regulations, including but not limited to OSHA and the Department of Labor.

Bidder shall serve as the prime contractor under any resulting contract, and Bidder shall be responsible for the performance and payment of ALL subcontractors. Bidder will retain executive representation for functional and technical expertise as needed to incorporate any work by third party contractors; the General Contractor is responsible for the work of the Subcontractor.

## OPTIONAL BACKGROUND CHECKS

Any personnel or agent of the Bidder, performing services under any resulting contract from this IFB may be required to undergo a background check at the expense of the Bidder, if requested by the County. Background checks will not be required unless the County is first given reason to need a background check based upon some action or lack of action by Bidder or by Bidder's agent. Nonetheless, the County reserves the right to require background checks at its sole discretion.

## ASSIGNMENT

Any resulting contract cannot be assigned in total by the Bidder. Bidder must remain the prime contractor throughout project completion. Bidder may subcontract portions of the work.

## SCOPE OF WORK

Graham County seeks to procure the services of prime construction contractors to perform, or cause to be performed, demolition and reconstruction of single-family homes in Robbinsville, North Carolina in compliance with local, state, and federal laws and all applicable statutory requirements for CDBG grants.

## DESCRIPTION OF SERVICES AND REQUIREMENTS

Bidders shall use provided building plans, site plans, and other information to demolish existing structures at identified locations then to build a new 3-bedroom, 2-bathroom home. Blueprints, site plans, surveys, and construction specifications are attached to this IFB.

Construction specifications are written to be of a minimum standard. Bidders may choose to exceed the minimum standard, however there will be no additional compensation given for exceeding the minimum standard. Additionally, any change in specification must comply with the HUD Housing Quality Standards, and if required, the Americans with Disabilities Act of 1990.

### Demolition Phase

The scope of work for each project will begin with the demolition phase. The demolition phase may include, although may not be limited to:

- Coordination with the property owner and his/her family to move personal possessions from within the to-be-demolished structure into storage containers.
- Coordination and management of all storage containers from beginning to end of project, after property owner moves into freshly built home.
- Utility disconnection and deactivation AFTER the property owner has vacated the to-be-demolished property.
- Site work, and any environmental protections necessary prior to demolition.
- Demolition of existing structure.
- Debris removal in accordance with federal, state, and local requirements.
- Removal of any above and/or in-ground oil tanks identified at the project site. The scope of work for this activity includes but is not limited to any permitting requirements, removal, cleaning, and disposal of tank, including all tank contents, and remediation of any stained soils or surfaces.
- Site preparation for new construction, including fencing removal.

### Reconstruction Phase

The reconstruction phase may include, although may not be limited to:

- Construction of a new single-family home, including 3 bedrooms and 2 bathrooms, in accordance with all applicable local and state building codes.
- Install new well or repairing existing well, where applicable. Contractor to include price in base bid.
- Accessibility of projects to comply with the American with Disabilities Act of 1990 (if applicable).
- Any elevation certificate requirements.
- All required permits, inspections, and certificates.
- Utility connections or reactivations BEFORE the property owner moves into new home.

### Warranty Phase

- Complete all punch list items within 28 days of punch list inspection.
- Provide standard one-year workmanship warranty service.
- Provide a written, third-party administered six-year or better structural home warranty. Warranty should be provided by a home warranty company.
- Follow up on all warranty claims within 30 days of claim.

### ADDITIONAL SCOPE OF WORK REQUIREMENTS

- Provide all professional labor, equipment, and materials necessary to perform the work in accordance with the project standards.
- Comply with all applicable local, state, and federal laws, regulations, and guidelines.
- Hire or provide evidence of *good faith efforts to employ at least* one subcontractor who is a HUB business.
- Hire or provide evidence of *good faith efforts to employ at least* one subcontractor who is a Section 3 business.

- Provide documentation—including **5-7 photographs**—and schedules of construction progress to Housing Rehabilitation Specialist on a weekly basis.
- Meet Housing Rehabilitation Specialist on-site at intervals: 4 times throughout the project.
- Keep track of materials used in the home.
- Provide evidence of passed building inspections.
- Submit all operation manuals and manufacturer warranty and specification paperwork in a binder no later than 30 days after completion of construction.
- Maintain all records during construction and for a period of six (6) years after completion of construction.
- Clean home after construction and before property owners move into new home.
- Grade and seed lawn.
- Provide or repair parking area with gravel, sand, crushed asphalt, or similar combination thereof.

## SPECIFIC PROJECT INFORMATION

### Project 1: 708 Mountain Creek Rd, Robbinsville, NC 28771

The existing structure at 708 Mountain Creek Rd in Robbinsville, North Carolina is to be emptied then demolished. Following demolition and site preparation, a new 3-bedroom, 2-bathroom home is to be constructed on the lot.

Bidder shall be responsible for acquiring all required permits.

Bidder shall be responsible for proper and legal disposal of demolition debris, including any hazardous material found on the job, including but not limited to lead and asbestos. Reports are attached.

Bidder shall be responsible for the COMPLETE removal of the existing structure's foundation.

Bidder shall be responsible for ensuring that the new single-family home is built in accordance with all local zoning regulations.

Bidder shall be responsible for the proper and code-compliant construction of a new single-family home in accordance with the provided blueprints and any provided specifications herein or attached hereto this IFB.

Bidder shall make any adjustments to blueprints as necessary to meet local energy code requirements, including any foundation alterations necessary to meet local requirements, so long the footprint, style, and floorplan remain the same.

Bidder to use crawlspace foundation plan.

Bidder shall provide at least two (2) color options of vinyl siding, asphalt shingles, LVP flooring, carpets, cabinets, and countertops for Homeowner to select from within budgets set by Bidder according to this bid.

Bidder to include a 12" overhang on raised bar top.

Bidder shall paint all walls Ultra White or similar color, except for one wall in Primary Bedroom, with an eggshell or satin sheen.

Bidder shall provide Homeowner with option to choose one paint color as an accent color in his or her primary bedroom.

Ceilings throughout new home are to be Ultra White or similar color, with a flat sheen.

Trim throughout new home is to be Ultra White or similar color, with a semi-gloss or higher sheen.

Homeowner shall select paint color of front door.

Bidder to include a 10x10 deck on rear of home outside sliding glass doors. Deck is to be built according to local building code, and it should be permitted at time of home.

Bidder to include brick steps off front of home. Bricks to match skirt.

Where necessary, Bidder may use 6x6 PT posts on front of home on porch so that required handrails have attachment points. If Bidder decides to exercise this option, Bidder must paint handrails and posts to match exterior trim.

Bidder may choose to use ridge vent in lieu of box vents for attic ventilation. Amount of ventilation shall be a minimum of 260 Sq. In. of Net Free Area of Exhaust. Ridge vent is to be GAF Cobra SnowCountry or similar product. Box vents are to be SNOWVENTCO Snow Proof Roof Vent or similar product.

#### Electrical Requirements

Bidder to work with a licensed electrical contractor to plan and wire home according to all applicable electrical codes, if bidder is not a licensed electrical contractor in accordance with North Carolina licensure laws.

All lights are to be LED **or** Energy Star certified.

All switches are to be rocker switches.

Range is to be electric.

Water heater is to be electric and tankless and sized so that two showers may occur at one time. It might require a subpanel.

Porch is to have three overhead recessed lights.

Exterior, 2-light floodlights are to be in in soffit area on rear corners of home.

Primary bedroom is to be wired and prepared for a ceiling fan. Ceiling fan to be with light kit and provided by Bidder.

#### Plumbing Requirements

Bidder to work with a licensed plumbing contractor to plan and plumb home according to all applicable plumbing codes, if bidder is not a licensed plumbing contractor in accordance with North Carolina licensure laws.

Homeowners are to be given option for chair-height toilets.

Faucets, shower heads, and toilets should be WaterSense-certified.

Water heater is to be electric and tankless and sized so that two showers may occur at one time. It might require a subpanel.

#### Mechanical/HVAC Requirements

Bidder to install a 2-Ton, 13.4 SEER2 or better packaged heat pump unit and required accessories to meet code requirements and to ensure a comfortable home environment throughout all seasons.

Bidder to include a programmable thermostat.

Bidder to elevate HVAC package unit at least 12-inches off ground on secure wood platform, constructed of treated material and anchored into ground at least 18" deep with concrete.

#### Project 2: 297 Cotton Tail Lane, Robbinsville, NC 28771

The existing structure at 297 Cotton Tail Lane in Robbinsville, North Carolina is to be emptied then demolished. Following demolition and site preparation, a new 3-bedroom, 2-bathroom home is to be constructed on the lot.

Bidder shall be responsible for acquiring all required permits.

Bidder shall be responsible for proper and legal disposal of demolition debris, including any hazardous material found on the job, including but not limited to lead and asbestos. Reports are attached.

Bidder shall be responsible for the COMPLETE removal of the existing structure's foundation.

Bidder shall be responsible for ensuring that the new single-family home is built in accordance with all local zoning regulations.

Bidder shall be responsible for the proper and code-compliant construction of a new single-family home in accordance with the provided blueprints and any provided specifications herein or attached hereto this IFB.

Bidder shall make any adjustments to blueprints as necessary to meet local energy code requirements, including any foundation alterations necessary to meet local requirements, so long the footprint, style, and floorplan remain the same.

Bidder to use crawlspace foundation plan.

Bidder shall provide at least two (2) color options of vinyl siding, asphalt shingles, LVP flooring, carpets, cabinets, and countertops for Homeowner to select from within budgets set by Bidder according to this bid.

Bidder to include a 12" overhang on raised bar top.

Bidder shall paint all walls Ultra White or similar color, except for one wall in Primary Bedroom, with an eggshell or satin sheen.

Bidder shall provide Homeowner with option to choose one paint color as an accent color in his or her primary bedroom.

Ceilings throughout new home are to be Ultra White or similar color, with a flat sheen.

Trim throughout new home is to be Ultra White or similar color, with a semi-gloss or higher sheen.

Homeowner shall select paint color of front door.

Bidder to include a 10x10 deck on rear of home outside sliding glass doors. Deck is to be built according to local building code, and it should be permitted at time of home.

Bidder to include brick steps off front of home. Bricks to match skirt.

Where necessary, Bidder may use 6x6 PT posts on front of home on porch so that required handrails have attachment points. If Bidder decides to exercise this option, Bidder must paint handrails and posts to match exterior trim.

Bidder may choose to use ridge vent in lieu of box vents for attic ventilation. Amount of ventilation shall be a minimum of 260 Sq. In. of Net Free Area of Exhaust. Ridge vent is to be GAF Cobra SnowCountry or similar product. Box vents are to be SNOWVENTCO Snow Proof Roof Vent or similar product.

#### Electrical Requirements

Bidder to work with a licensed electrical contractor to plan and wire home according to all applicable electrical codes, if bidder is not a licensed electrical contractor in accordance with North Carolina licensure laws.

All lights are to be LED **or** Energy Star certified.

All switches are to be rocker switches.

Range is to be electric.

Water heater is to be electric and tankless and sized so that two showers may occur at one time. It might require a subpanel.

Porch is to have three overhead recessed lights.

Exterior, 2-light floodlights are to be in in soffit area on rear corners of home.

Primary bedroom is to be wired and prepared for a ceiling fan. Ceiling fan to be with light kit and provided by Bidder.

#### Plumbing Requirements

Bidder to work with a licensed plumbing contractor to plan and plumb home according to all applicable plumbing codes, if bidder is not a licensed plumbing contractor in accordance with North Carolina licensure laws.

Homeowners are to be given option for chair-height toilets.

Faucets, shower heads, and toilets should be WaterSense-certified.

Water heater is to be electric and tankless and sized so that two showers may occur at one time. It might require a subpanel.

#### Mechanical/HVAC Requirements

Bidder to install a 2-Ton, 13.4 SEER2 or better packaged heat pump unit and required accessories to meet code requirements and to ensure a comfortable home environment throughout all seasons.

Bid Number: 23-IFB-GRAHAM-CDBG-1

Bidder: \_\_\_\_\_

Bidder to include a programmable thermostat.

Bidder to elevate HVAC package unit at least 12-inches off ground on secure wood platform, constructed of treated material and anchored into ground at least 18" deep with concrete.



**Bid Form**  
**IFB Number: 23-IFB-GRAHAM-CDBG-1**  
**IFB Description: Residential Construction Services; Reconstruction and Demolition**

**Instructions:**

Input your Price Per Square Foot, then multiply your Price Per Square Foot by SQFT to find Final Cost. Finally, add your Final Cost numbers to find Total Bid. You do not have to bid all projects to submit a bid. SIGN Attachment A. Failure to sign Attachment A will disqualify bid. **UPDATE: DO NOT INCLUDE THE COST OF SEPTIC IN BASE BID. USE OPTIONS BID FORM FOR SEPTIC PRICING**

Project Number	Address	City	County	Floorplan Selection	Accessibility Needs (Y/N)	SQFT.	Price Per Square Foot	Final Cost
1	708 Mountain Creek Rd	Robbinsville	Graham	Magnolia	N	1,234		
2	297 Cotton Tail Lane	Robbinsville	Graham	Magnolia	N	1,234		
<b>TOTAL BID</b>								

**By signing this bid form, Bidder certifies that it has read and agrees to the INSTRUCTIONS and the Construction Specifications set forth in the document attached to this bid form.**

AUTHORIZED SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**Alternate Bid Form**  
**IFB Number: 23-IFB-GRAHAM-CDBG-1**  
**IFB Description: Residential Construction Services; Reconstruction and Demolition**

**Instructions:**

Input your Price Per Square Foot, then multiply your Price Per Square Foot by SQFT to find Final Cost. Finally, add your Final Cost numbers to find Total Bid. You do not have to bid all projects to submit a bid. SIGN the Alternate Bid Form. Failure to sign this bid form will disqualify bid.

Project Number	Address	City	County	Floorplan Selection	Accessibility Needs (Y/N)	SQFT.	Price Per Square Foot	Final Cost
1	708 Mountain Creek Rd - 2 Bedroom Version**	Robbinsville	Graham	Magnolia	N	1,234		
2	297 Cotton Tail Lane - 2 Bedroom Version**	Robbinsville	Graham	Magnolia	N	1,234		

**\*\* Detail \*\***

This 2-bedroom version is made possible by removing the closet from bedroom 3. The room should be a flex-room after change is made.

**By signing this bid form, Bidder certifies that it has read and agrees to the INSTRUCTIONS and the Construction Specifications set forth in the document attached to this bid form.**

AUTHORIZED SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**Options Bid Form**  
**IFB Number: 23-IFB-GRAHAM-CDBG-1**  
**IFB Description: Residential Construction Services; Reconstruction and Demolition**

**Instructions:**

Input your Price Per Square Foot, then multiply your Price Per Square Foot by SQFT to find Final Cost. Finally, add your Final Cost numbers to find Total Bid. You do not have to bid all projects to submit a bid. SIGN the Options Bid Form. Failure to sign this bid form will disqualify bid.

Project Number	Address	City	County	Floorplan Selection	Accessibility Needs (Y/N)	Bedrooms	Final Cost
1	New Septic System for 708 Mountain Creek Rd	Robbinsville	Graham	Magnolia	N	3	
2	New Septic System for 297 Cotton Tail Lane	Robbinsville	Graham	Magnolia	N	3	
1	New Septic System for 708 Mountain Creek Rd	Robbinsville	Graham	Magnolia	N	2	
2	New Septic System for 297 Cotton Tail Lane	Robbinsville	Graham	Magnolia	N	2	

**\*\* Detail \*\***

Exclude any and all cost for septic systems from base bid. The County will opt for a septic system at time of contract, based on its review.

**By signing this bid form, Bidder certifies that it has read and agrees to the INSTRUCTIONS and the Construction Specifications set forth in the document attached to this bid form.**

AUTHORIZED SIGNATURE:

DATE:



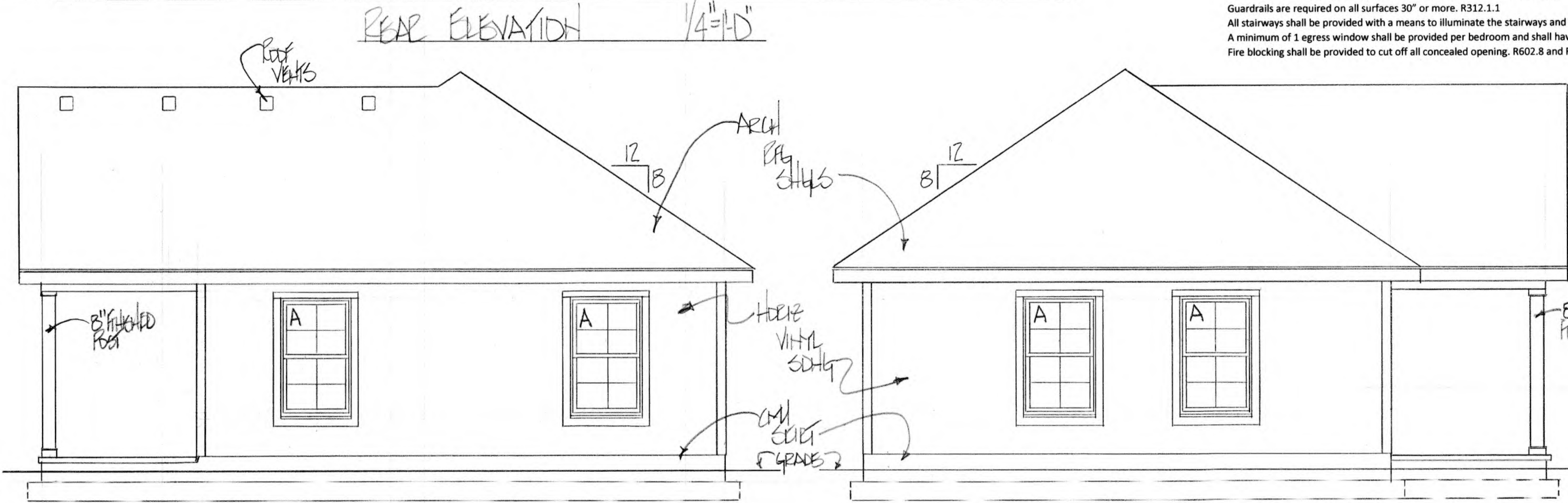
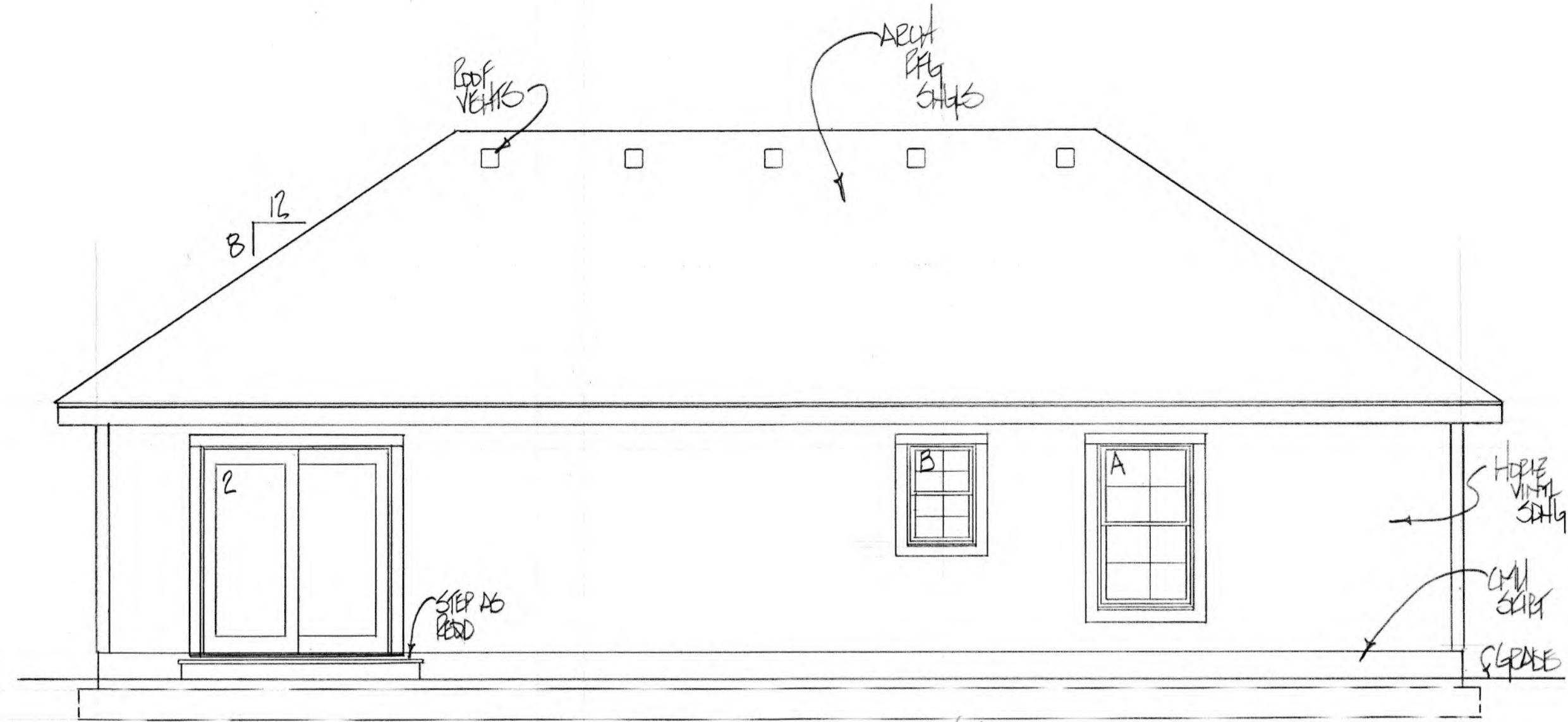
By signing these blueprints, Bidder agrees that it has reviewed this blueprints and is bidding the construction of the home presented herein:

Authorized Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**General Notes:**

All construction, materials, and methods are to fully comply with all state and local building codes. All design and construction are based on the 2018 International Building Code and the current North Carolina State Building Code.  
 The Contractor / Owner is to verify all dimensions, details, and site conditions prior to beginning construction. Every attempt has been made to ensure the accuracy of these drawings. Any discrepancy shall be brought to the attention of "Barnes Residential Design" (BRD). This designer shall not be held liable for any omissions or errors in these drawings.  
 All additional engineering that is required by code shall be supplied by the builder / owner.  
**Design Loads:**  
 Wind Load 130 mph  
 Roof Load <3/12 20 psf  
 Roof Load > 3/12 30 psf  
 Floor Load (non sleeping) 40 psf  
 Floor Load (sleeping) 30 psf  
 Attic Load > 3/12 20 psf  
 Wind Exposure B  
**Footings and Foundation:**  
 All footings detailed in these plans were calculated using Table R403.1. See wall sections and foundation plan for details and sizes.  
 All footings to be 3500 psi concrete and bear on undisturbed soil capable of supporting 1500 psf per Table R401.4.1.  
 The bottom of footings shall be a minimum of 12" below grade.  
**Framing Construction:**  
 All plates and posts that bear directly on masonry / concrete are to be pressure treated per R317.1.  
 Fasteners for treated members are to be hot-dipped galvanized, stainless steel, silicon bronze, or copper.  
 All girder and header spans are to comply with Table R502.5(1) and R 502.5(2).  
 All lumber shall be SYP #2, #1, or better. These members are to be identified by a grade mark.  
 All spans are to comply with Floor Joists Table R502.3.1(1) and R502.3.1(2) - Ceiling joists R802.4(1)-(2).  
 Micro-Lam and LVL members shall bear on a minimum of 3 gang studs or as specified by supplier. Supplier to provide load calc. sheets.  
 All engineered floor systems are to be set and braced in accordance with the supplier's layout. This layout shall specify sizes, spans, load points, and blocking / bracing details.  
 All wall studs are to be SPF #2 at 16" o/c unless otherwise specified on this plan. Jack and king studs per R602.7.4.  
 All sheathing shall be as follows:  
 Roof 7/16" OSB  
 Wall 7/16" OSB  
 Floor 3/4" OSB  
 Floor and wall framing shall be spaced and constructed to accommodate loads imposed. These loads shall be transmitted to the supporting foundation / footings.  
 The ends of each joist shall have a minimum bearing of 1-1/2" bearing on a wood member and 3" bearing on masonry. R502.6  
 All wood joists, the bottom of wood structural flooring, and wood girders closer than 18" shall be pressure treated. R317.1.1  
**Roof Construction:**  
 All lumber shall be SYP #2, #1, or better. These members are to be identified by a grade mark.  
 All rafter sizes and spans are identified in wall sections or roof plans.  
 All collar ties shall be a minimum of 2" x 4" at 16" o/c.  
 Hips and ridges are to be sized so that the rafter is full bearing.  
 All loads from roof point loads, ridge / roof posts, and knee walls shall be transmitted to the foundation.  
 Rafter / Hurricane ties are detailed in the wall sections.  
 The ends of each rafter shall have a minimum bearing of 1-1/2" bearing on a wood member and 3" bearing on masonry. R502.6  
 Ceiling joists and rafters shall be nailed to each other in accordance with code or alternate means of connection.  
**Misc. Code Details:**  
 All fastening shall comply with IRC 2018, Table R602.3.1(1).  
 Girders and headers shall be sized per code.  
 All handrails shall be provided on at least one side of each continuous run of treads or flight of stairs with 4 or more risers or 30". R311.7.8  
 Handrail height shall be measured vertically from the sloped plane of the tread nosing and shall be between 34" and 38" in height. R311.7.8.1  
 Type 1 handrails are required with a circular cross section between 1-1/4" and 2" R311.7.8.3.  
 The spacing of rail pickets be 5" o/c R312.1.3  
 All stairways shall have minimum width of 36" in the clear below and above the handrail R311.7.1  
 The minimum headroom in all parts of the stairway shall be 6'-8" R311.7.2.  
 Guardrails are required on all surfaces 30" or more. R312.1.1  
 All stairways shall be provided with a means to illuminate the stairways and landing. R303.7  
 A minimum of 1 egress window shall be provided per bedroom and shall have a minimum clear opening of 5.7 sf.  
 Fire blocking shall be provided to cut off all concealed openings. R602.8 and R302.11

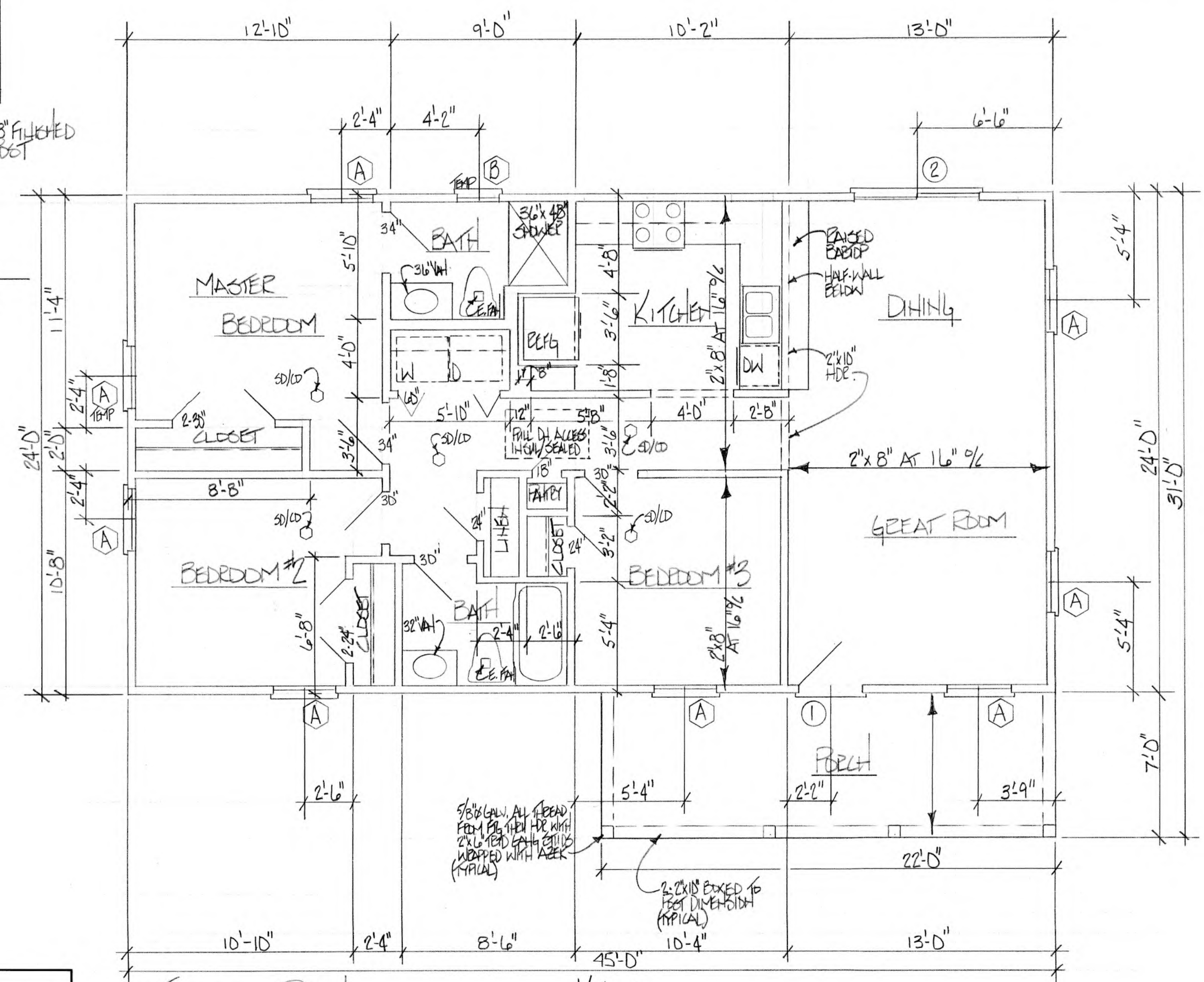
Bathtub and showers shall have non-absorbent wall materials not less than 6' above the floor.  
**Stair treads and Risers:**  
 The maximum height shall be 8-1/4". This distance is measured vertically and shall not vary by more than 3/8". R311.8.2  
 The minimum tread depth shall be 10" and this measurement shall not vary by more than 3/8". R311.7.5.2  
 The nosing radius shall not be greater than 9/16". The nosing projection shall be between 3/4" and 1-1/4".  
 Landings shall be at the top and bottom of each stairway. Each landing shall not be less than 36" in any direction. R311.8.2  
**Insulation:**  
 The insulation zone for this plan is Zone 4. The fenestration U-factor of 0.35 per Table N1102.1  
 Attic accesses shall be sealed and insulated per N1102.2.3  
 All corners and headers are to have R-3 insulation at any gaps.  
 Ceiling R-38  
 Walls R-15  
 Floors R-19  
 Slab R-10, 24" wide around the perimeter.  
**Trusses / Engineered Lumber:**  
 Supplier / Manufacturer is to supply an engineered layout that details the layout, spacing, bracing, and any additional installation / handling details.  
 A copy of all layouts and calculations shall accompany these plans.  
**Deck:**  
 Any landings or decks are to be designed to support 50 psf with flashing per R703.8  
 Deck and landings are to have a minimum of 2 hold-back / lateral load devices with a capacity of 1500 lbs.  
**Wall Bracing:**  
 Wall Bracing Method: WSP-CS, GB, or WSP-PF per R602.10.5  
 Sheathed with a minimum of 7/16" OSB APA rated sheathing.  
**Airport Noise Attenuation:** Provide details of compliance with noise attenuation standards. Where LDN is determined to be 65 db or greater, the minimum STC rating of the structure components shall be provided in compliance with Section 1207.4 of state amendments. As an alternative to compliance, Table 1207.4 structures shall be permitted to be designed so that the interior noise level is not greater than 45 dBA. Exterior structure, terrain, and plantings shall be permitted as part of the design. The alternate shall be certified by a RDP.



Window Schedule					
	Size	Description	DP Rating	Seal Opng	Clear Opng
A	3'-0" x 5'-0"	JeldWen or equal vinyl single hung with Low E glazing	DP-50	30.94 x 27.08	5.8
B	2'-0" x 3'-0"	JeldWen or equal vinyl single hung with Low E glazing	DP-50	18.94 x 10.96	1.6

\*\*Supplier / Builder to confirm egress, Low E glazing, and tempering requirements. Egress windows to have a min. egress of 5.7 SF (R310.1.1). Min. sill height at 2nd floor to be 18" (USBC R813.2) and max. sill height of a egress window to be 44" (USBC R310.1).  
 \*\*\*All windows and doors are to be flashed using the "DuPont" Flashing System Guidelines or equivalent manufacturer.  
 \*\*\*\*IRC Section Table N 1102.1-Window and Door Fenestration: All ext. windows and doors shall be labeled with a fenestration U factor of 0.32 or less. One(1) opaque door per home does not have to meet this requirement and up to fifteen (15) sq. feet of wind area does not have to meet the Fenestration requirements.

Exterior Door Schedule			
	Size	Description	DP Rating
1	3'-0" x 8'-8"	Therma-Tu Metal Insulated 6 Panel	DP-35
2	6'-0" x 6'-8"	JeldWen or equal Full View Patio Slider with Low E glazing	DP-35



Square Footage	
Living Area	1080
Front Porch	154

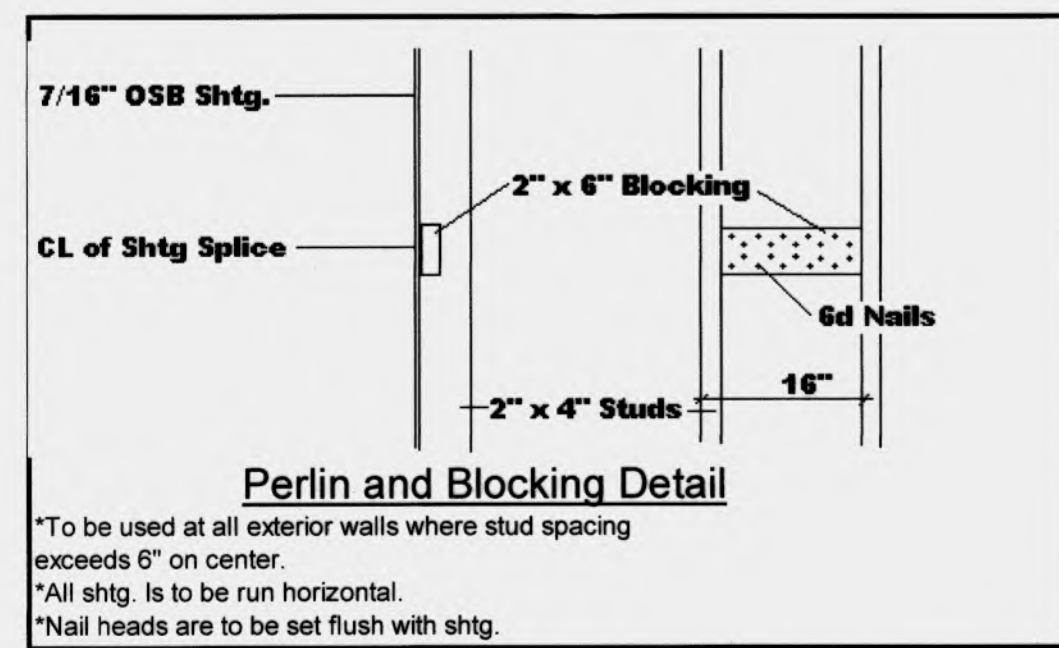
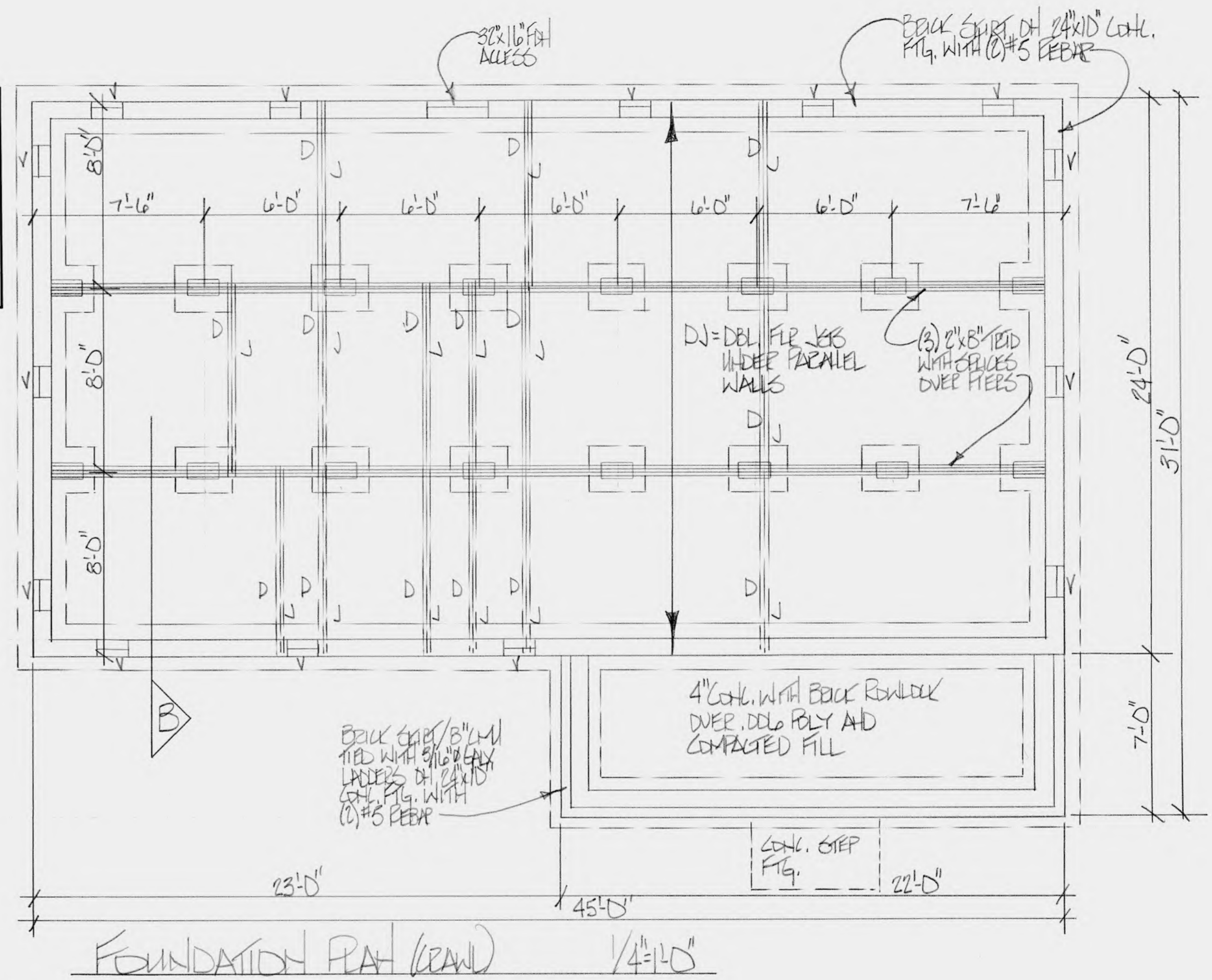
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**BR RESIDENTIAL DESIGN**

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 Currituck Homes  
 Magnolia Model  
 Plan # 1750  
 September 17, 2022



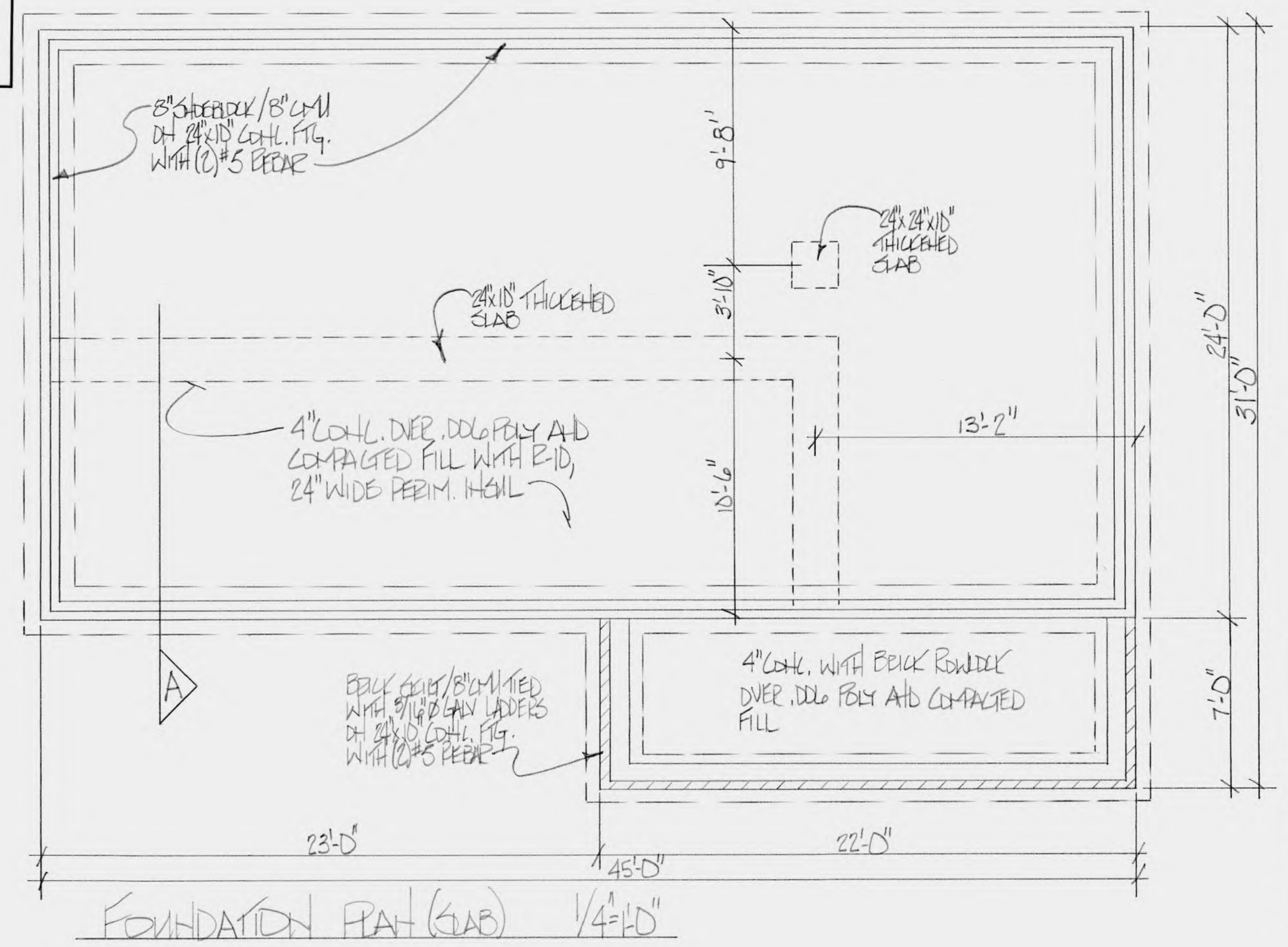
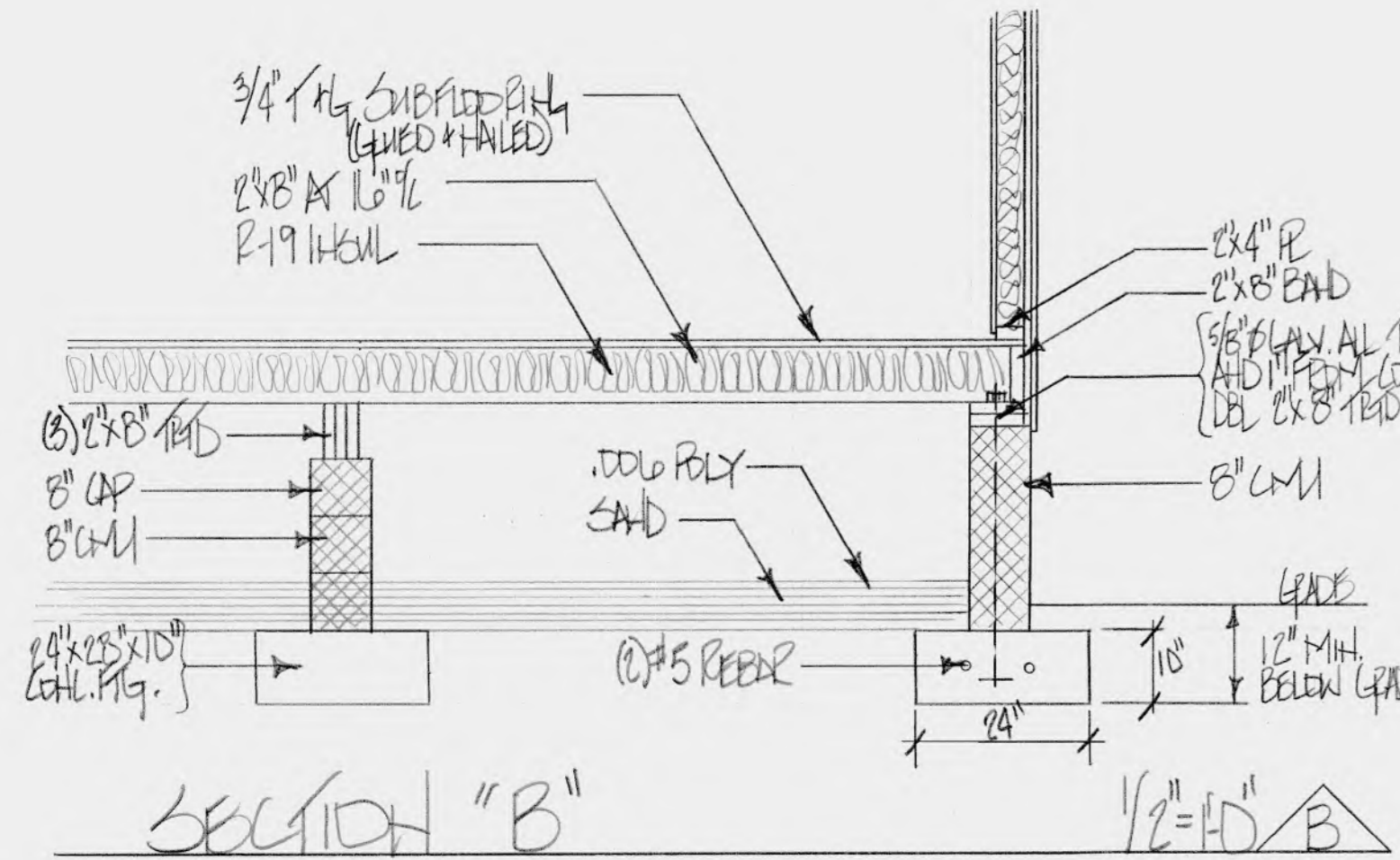
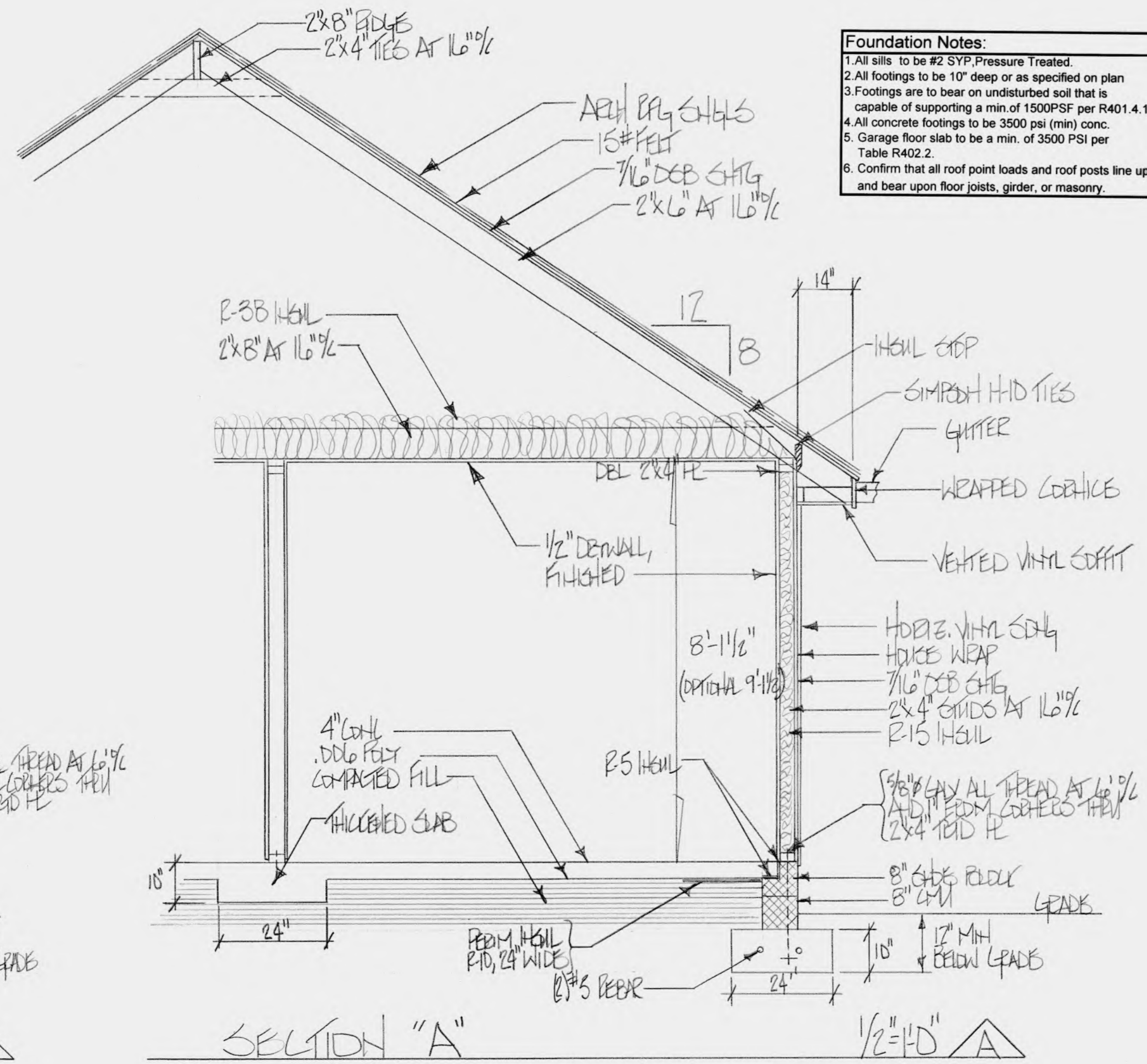
**Foundation Notes:**

1. All sills and girders to be #1 SYP or #2 SPF, Treated
2. V = 8" x 16" foundation vent with screen and shutter. Locate vents per Local Bldg. Inspections Dept.
3. All piers are to be 8" x 8" x 16" CMU on 24" x 28" x 10" deep conc. footing
4. Footings are bear on undisturbed soil that is capable of supporting a min. of 1500PSF per R401.4.1
5. All concrete footings to be 3500 psi (min) conc.
6. Garage floor slab to be a min. of 3500 PSI per Table R402.2.
7. Grade under crawl to have sand or gravel fill with 6 Mil. poly vapor barrier on top.
8. Confirm that all roof point loads and roof posts line up and bear upon floor joists, girder, or masonry.



**Foundation Notes:**

1. All sills to be #2 SYP, Pressure Treated.
2. All footings to be 10" deep or as specified on plan
3. Footings are to bear on undisturbed soil that is capable of supporting a min. of 1500PSF per R401.4.1
4. All concrete footings to be 3500 psi (min) conc.
5. Garage floor slab to be a min. of 3500 PSI per Table R402.2.
6. Confirm that all roof point loads and roof posts line up and bear upon floor joists, girder, or masonry.



111 Olmsted Lane  
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**BARNES RESIDENTIAL DESIGN**

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**Curruck Homes**  
**Magnolia Model**  
Plan # 1750  
September 17, 2022



**Contractor's Qualification Statement – ATTACHMENT D**

General Contractor Name: \_\_\_\_\_

General Contractor's License Number: \_\_\_\_\_

Has Contractor ever held a General Contractor's license that has been revoked, suspended, or lost?

\_\_\_\_\_

When can the Contractor begin construction? \_\_\_\_\_

How many homes has Contractor completed in the last year? \_\_\_\_\_

Please provide names and contact information for two persons who can verify your new home construction work and commitment to completion. Time is of the essence on these projects:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Is there any additional information that you would like to provide about your firm?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Attach a copy of your General Contractor's License to this Attachment.**



# MATRIX

Health & Safety Consultants, L.L.C.

May 30, 2023

Graham County  
196 Knight Street  
Robbinsville, North Carolina 28771

Attention: Jason Marino

Subject: Sampling to Identify Asbestos-Containing Materials  
708 Mountain Creek Road  
Robbinsville, NC 28771  
Matrix Job Number: 230567

Dear Mr. Marino:

Matrix Health and Safety Consultants, L.L.C. (Matrix) is pleased to present this report of the survey to identify asbestos-containing materials at the referenced project site. This report presents known project information, survey procedures and survey results.

Matrix understands the residence is scheduled for renovations in the near future. In order to facilitate the renovations, Matrix performed a survey to determine the existence of asbestos-containing materials.

## **SURVEY PROCEDURES**

The survey was performed on May 22, 2023, by Suzanne Hinson (North Carolina Asbestos Inspector No. 12395). The survey began with a walk-through of the residence observing accessible areas for the presence of suspect asbestos-containing materials. Both friable and nonfriable suspect asbestos-containing materials were considered during the course of the survey. Friable materials are those materials which can be pulverized or reduced to powder by hand pressure. A sampling strategy was determined and bulk samples of suspect ACM were obtained. Suspect ACM's were grouped based on material homogeneity. A homogeneous area is an area which contains materials that seem by texture, color and wear to be uniform and applied during the same general time period.

To determine the presence or absence of asbestos content in the suspect materials, samples were collected and transported to Scientific Analytical Institute, Inc. located in Greensboro, North Carolina under chain-of-custody documentation for laboratory analysis. The collected samples were placed into individual sample containers, sealed and a unique identification number was assigned to the sample container at the time of collection. The identification included the sample collection date and location. This information was logged on our Asbestos Bulk Sampling Record and submitted to the laboratory.

## **ANALYSIS PROCEDURES AND RESULTS**

The collected asbestos samples were analyzed using Polarized Light Microscopy (PLM) in conjunction with dispersion staining techniques using EPA Method 600/M4-82-020 and EPA Method 600/R93/116 per 40 CFR 763.

The bulk laboratory analysis provided the asbestos content (positive or negative), percentage of asbestos, asbestos type and identification of other non-asbestos fibers. A material is considered to be asbestos-containing if greater than 1% asbestos is found in the material.

**Asbestos-Containing Material Inspection Summary**

SAMPLE NUMBER	MATERIAL	GENERAL LOCATION	TYPE AND PERCENTAGE OF ASBESTOS PRESENT
708-1 708-2	Textured Ceiling With Wallboard	Kitchen	None Detected
708-3 708-4	Textured Ceiling	Bathroom	None Detected
708-5 708-6	Wood Pattern Sheet Flooring	Living Room	None Detected
708-7 708-8	Tan Sheet Flooring	Kitchen	None Detected
708-9 708-10	Wood Pattern Sheet Flooring	Bathroom Renovated Area	None Detected
708-11 708-12	Drywall with Joint Compound	Renovated Areas	None Detected
708-13 708-14	Window Glazing	Addition Windows	None Detected
708-15 708-16	Window Caulking	Addition Windows	None Detected
708-17 708-18	Roofing Shingles	Under Metal Roof	None Detected
708-19 708-20	Roofing Membrane and Penetration Mastic	Rooftop	None Detected

Analysis Method: PLM with Dispersion Staining

NAD: No Asbestos Detected

**No asbestos was detected in any of the samples collected from the property.**

This report summarizes Matrix’s evaluation of the conditions observed at the subject storage room during the course of the survey. Our findings are based upon our observations at the storage room and analyses of the samples obtained at the time of this survey. Additional asbestos-containing materials may exist (undetected) in other portions of the target rooms due to inaccessibility or due to an undetectable change in materials. Any conditions discovered which deviate from the data contained in this report should be presented to us for our evaluation.

Matrix appreciates the opportunity to have provided these services. We would be glad to discuss any of the results contained in this report, at your convenience. If there are any questions concerning this report or results, please contact us.

Sincerely,

**MATRIX HEALTH AND SAFETY CONSULTANTS, L.L.C.**



C. Britt Wester, CIH  
Principal

Attachments: Laboratory Analysis Report



## **Laboratory Analysis Report**



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023936

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 708 Mountain Creek Rd.

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
708-01 - A	Ceiling surfacing & wallboard	None Detected		100% Other	White Non-Fibrous Homogeneous
10023936_0001	texture				Crushed
708-01 - B	Ceiling surfacing & wallboard	None Detected	10% Cellulose	90% Other	Gray Non-Fibrous Homogeneous
10023936_0021	drywall				Crushed
708-02 - A	Ceiling surfacing & wallboard	None Detected		100% Other	White Non-Fibrous Homogeneous
10023936_0002	texture				Crushed
708-02 - B	Ceiling surfacing & wallboard	None Detected	10% Cellulose	90% Other	Gray Non-Fibrous Homogeneous
10023936_0022	drywall				Crushed
708-03	Ceiling surfacing	None Detected		100% Other	White Non-Fibrous Homogeneous
10023936_0003					Crushed
708-04	Ceiling surfacing	None Detected		100% Other	White Non-Fibrous Homogeneous
10023936_0004					Crushed
708-05 - A	Wood pattern sheet vinyl	None Detected		100% Other	White, Tan Non-Fibrous Homogeneous
10023936_0005	vinyl				Dissolved
708-05 - B	Wood pattern sheet vinyl	None Detected		100% Other	Cream Non-Fibrous Homogeneous
10023936_0023	mastic				Dissolved

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogenous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Christina Molnar (26)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023936

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 708 Mountain Creek Rd.

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
708-05 - C	Wood pattern sheet vinyl	None Detected	45% Cellulose	55% Other	Gray, Brown Fibrous Heterogeneous
10023936_0024	vinyl w/ fibrous backing				Teased, Crushed
708-06 - A	Wood pattern sheet vinyl 2 layers	None Detected		100% Other	White, Tan Non-Fibrous Homogeneous
10023936_0006	vinyl				Dissolved
708-06 - B	Wood pattern sheet vinyl 2 layers	None Detected		100% Other	Cream Non-Fibrous Homogeneous
10023936_0025	mastic				Dissolved
708-06 - C	Wood pattern sheet vinyl 2 layers	None Detected	45% Cellulose	55% Other	Gray, Brown Fibrous Heterogeneous
10023936_0026	vinyl w/ fibrous backing				Teased, Crushed
708-07	Tan sheet vinyl	None Detected	45% Cellulose	55% Other	Brown, Gray Fibrous Heterogeneous
10023936_0007	vinyl w/ fibrous backing				Teased, Crushed
708-08	Tan sheet vinyl	None Detected	45% Cellulose	55% Other	Gray, Cream Fibrous Heterogeneous
10023936_0008	vinyl w/ fibrous backing				Crushed, Teased
708-09	Wood pattern sheet vinyl	None Detected	45% Cellulose	55% Other	Gray, Brown Fibrous Heterogeneous
10023936_0009	vinyl w/ fibrous backing				Teased, Crushed
708-10	Wood pattern sheet vinyl	None Detected	45% Cellulose	55% Other	Gray, Brown Fibrous Heterogeneous
10023936_0010	vinyl w/ fibrous backing				Teased, Crushed

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogenous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Christina Molnar (26)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023936

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 708 Mountain Creek Rd.

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
708-11	Wallboard & joint compound	None Detected	10% Cellulose	90% Other	Gray, White Non-Fibrous Heterogeneous
10023936_0011	<i>drywall: none detected, joint compound: none detected</i>				Crushed
708-12	Wallboard & joint compound	None Detected	10% Cellulose	90% Other	White, Gray Non-Fibrous Heterogeneous
10023936_0012	<i>drywall: none detected, joint compound: none detected</i>				Crushed
708-13	Window glazing addition windows	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023936_0013					Crushed
708-14	Window glazing addition windows	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023936_0014					Crushed
708-15	Window glazing addition windows	None Detected		100% Other	Tan Non-Fibrous Homogeneous
10023936_0015					Ashed
708-16	Window glazing addition windows	None Detected		100% Other	Tan Non-Fibrous Homogeneous
10023936_0016					Ashed
708-17	Shingle roof under metal roof	None Detected	40% Fiber Glass 10% Cellulose	50% Other	Black Fibrous Heterogeneous
10023936_0017					Dissolved, Teased
708-18	Shingle roof under metal roof	None Detected	40% Fiber Glass 10% Cellulose	50% Other	Black Fibrous Heterogeneous
10023936_0018					Dissolved, Teased

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogenous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Christina Molnar (26)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023936

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 708 Mountain Creek Rd.

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
708-19	Roofing membrane with penetration mastic	None Detected	40% Fiber Glass 10% Cellulose	50% Other	Black Fibrous Heterogeneous
10023936_0019					Teased, Dissolved
708-20	Roofing membrane with penetration mastic	None Detected	40% Fiber Glass 10% Cellulose	50% Other	Black Fibrous Heterogeneous
10023936_0020					Teased, Dissolved

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogenous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Christina Molnar (26)

Analyst

Approved Signatory





**Radon Test Result: 0.6 ±0.3 pCi/L**

**Test Started 05/22/23 at 12:00 pm**  
**Test Ended 05/24/23 at 12:00 pm**  
Closed house conditions NOT maintained during test.

**Location 1st Floor**

living rm

  
GERTRUDE MILLSAPS  
708 MOUNTAIN CREEK RD  
ROBBINSVILLE, NC 28771-8566

This radon test was provided to you by MATRIX HEALTH AND SAFETY /  
919-833-2520.

**INTERPRETING YOUR TEST RESULT**

The US EPA action level for indoor radon is 4.0 pCi/L. The EPA indicates that there is little short-term risk with test results in this range (0.6 to 1.9 pCi/L). However, because radon levels fluctuate daily, as well as seasonally, you may want to retest during another season. Additionally, if you make any structural changes or start to use a lower level of the building more frequently, you should test again.

**Air Chek**

**PO Box 2000**

**Naples, NC 28760**

**www.radon.com**

**Your Test Result**

This result has been rounded to one-tenth (0.1) of a pCi/L (picocurie per liter). This test result reflects the amount of radon measured in this sample AFTER it arrived at our laboratory. All analysis calculations are automatically adjusted to reflect the length of test, the amount of moisture in the sample, temperature, time from the end of test, and the amount of radiation measured. If your test kit was used prior to the Use By date, ALL the testing protocols and instructions were carefully followed, and the data recorded properly on the test packet, then it is reasonable to assume this is an accurate assessment of the average level of the radon this sample was exposed to during the test period.

**Health Risks**

The primary health risk from long-term exposure to radon is lung cancer. The risk of developing a lung cancer from radon exposure depends both on how much radon is present and how long you are exposed to radon. The higher the radon level or the longer the time of exposure, even if the levels are relatively low, the greater the risk. EPA has set an Action Level for radon at 4 pCi/L; however radon concentrations less than 4 pCi/L still pose some health risks. The Indoor Radon Abatement Act set a goal for indoor radon concentrations to equal the amount of radon found outdoors, which is estimated to be ~ 0.4 pCi/L.

**Conducting Follow-up Measurements**

USEPA protocol describes two general types of radon measurements: short-term tests conducted from 48 hours up to 90 days, and long-term tests that last from 91 to 365 days. Your first test (initial/screening) should be a short-term 'worst-case' screening to see if there is a potential for high exposure to radon. Screening tests should be conducted under closed-building conditions, in the lowest lived-in area in the house, because the highest concentrations of radon will usually be found in a room closest to the underlying soil. Tests made under these conditions are less likely to miss a house with a potential for high concentrations. On the other hand, if the results of worst-case screening tests are very low, there is a high probability that the average annual concentrations in the house are also low.

(Continued on Back)

Most states have a radon office to assist citizens with general questions about radon and radon reduction techniques. Many states maintain a list of licensed or certified radon testing and mitigation professionals. You can visit [www.state-radon.info](http://www.state-radon.info) to find the list of state radon contacts, as well as links to additional radon resources in your area.



**Radon Test Result: 0.8 ±0.3 pCi/L**

**Test Started 05/22/23 at 12:00 pm**  
**Test Ended 05/24/23 at 12:00 pm**  
Closed house conditions NOT maintained during test.

**Air Chek**

**PO Box 2000**

**Naples, NC 28760**

**www.radon.com**

bedroom mast



GERTRUDE MILLSAPS  
708 MOUNTAIN CREEK RD  
ROBBINSVILLE, NC 28771-8566

**Your Test Result**

This result has been rounded to one-tenth (0.1) of a pCi/L (picocurie per liter). This test result reflects the amount of radon measured in this sample AFTER it arrived at our laboratory. All analysis calculations are automatically adjusted to reflect the length of test, the amount of moisture in the sample, temperature, time from the end of test, and the amount of radiation measured. If your test kit was used prior to the Use By date, ALL the testing protocols and instructions were carefully followed, and the data recorded properly on the test packet, then it is reasonable to assume this is an accurate assessment of the average level of the radon this sample was exposed to during the test period.

This radon test was provided to you by MATRIX HEALTH AND SAFETY / 919-833-2520.

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**MATRIX**  
Health & Safety Consultants, L.L.C.

# **XRF Lead-Based Paint Inspection & Risk Assessment Report**

Report Date: May 30, 2023

**Conducted At:**

708 Mountain Creek Road  
Robbinsville, NC 28771

**Prepared For:**

Graham County  
12 N Main Street  
196 Knight Street  
Robbinsville, NC 28771

**Provided by:**

Matrix Health & Safety Consultants, L.L.C.  
NC Certified Lead-Based Paint Firm No. FPB-00122  
Josh Smathers: NC Certified Lead-Based Paint Risk Assessor No. 120223

Matrix Job # 230567

## PROJECT INFORMATION

Matrix Health & Safety Consultants, L.L.C. (Matrix) is pleased to present this report of the survey to identify lead-based paint and perform a lead risk assessment of the property located at 708 Mountain Creek Road, in Robbinsville, North Carolina. The subject unit tested is a one-story structure and was unoccupied at the time of the survey. This inspection/risk assessment report includes analytical methods and limitations, discussion of XRF procedures, risk assessment procedures, summary of findings, and recommendations.

Josh Smathers performed the lead-based paint survey and risk assessment at the subject property on May 22, 2023.

## INSPECTION/RISK ASSESSMENT PROCEDURES

The lead-based paint survey began with our inspectors/risk assessors walking the subject property and documenting room equivalents, testing combinations, and selecting test locations. The walls/sides of the property are distinguished by Side A, B, C, or D. Wall or side A is facing the street, then moving clockwise would be wall/side B, C (located at rear of property), and D. After the testing strategy was determined, Matrix used a Viken Pb200i Lead Paint Spectrum Analyzer (XRF) to determine the lead content (mg/cm<sup>2</sup>) of painted surfaces at the subject residence. For the purpose of this survey, paints with concentrations of 1.0 mg/cm<sup>2</sup> or greater were considered lead-based paint. The inspection was conducted following EPA's work practice standards for conducting lead-based paint activities (40 CFR 745.227), the U.S. Department of Housing and Urban Development (HUD) *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* (Guidelines) with the 1997 and 2000 revisions, and all State and local regulations.

During the inspection the paint was identified as intact or deteriorated. The table below is the HUD/EPA guideline for assessing paint conditions under Title X of the 1992 Housing and Community Development Act (Revision 1/2004).

**HUD and EPA  
 Categories of Paint Film Quality**

Type of Building Component <sup>1</sup>	Intact	Deteriorated <sup>2</sup>
Exterior components with large surface areas	Entire surface is intact or less than or equal to 20 ft <sup>2</sup>	Damage to more than 20 ft <sup>2</sup>
Interior components with large surface areas (wall, ceilings, floors, doors)	Entire surface is intact or less than or equal to 2 ft <sup>2</sup>	Damage to more than 2 ft <sup>2</sup>
Interior and exterior components with small surface areas (window sills, baseboards, soffits, trim)	Entire surface is intact or less than or equal to 10% of the total surface area of the component	Damage to more than 10% of the total surface area of the component

1 “Building Component” in this table refers to each individual component or side of building, **not** the combined surface area of all similar components in a room (e.g., a wall with three ft<sup>2</sup> of deteriorated paint is considered “deteriorated”, even if the other 3 walls in a room have no deteriorated paint).

2 Surfaces in “deteriorated” condition are considered to be “lead-based paint hazards” as defined in Title X and should be addressed through abatement or interim controls.

After delineating lead-based paints at the subject residence, Matrix performed a risk assessment. A lead-based paint risk assessment is defined as an on-site investigation to determine the existence, nature, severity, and location of lead-based paint hazards. This was performed by assessing the current condition of the residence, the condition of lead-based paints, along with dust and soil sampling (if required). If residents are available, Matrix also requests that HUD provided resident questionnaires be completed. The risk assessment was conducted following EPA’s work practice standards for conducting lead-based paint activities (40 CFR 745.227), the U.S. Department of Housing and Urban Development (HUD) *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* (Guidelines) with the 1997 and 2000 revisions, and all State and local regulations. However, the State of North Carolina does not allow composite dust wipe samples therefore, only single-surface dust samples were obtained. The Building Condition, Paint Conditions, Dust Wipe Sampling, and Soil Sampling forms are attached with this report.

Lead wipe and composite soil samples were sent under chain-of-custody documentation to Scientific Analytical Institute in Greensboro, North Carolina, for laboratory analysis. The collected samples were placed into individual sample containers, sealed and a unique identification number was assigned to the sample containers at the time of collection. The identification included the sample collection date and locations. This information was logged on our lead wipe and soil sampling forms and submitted to the laboratory. SAI is an AIHA Accredited ELLAP (Environmental Lead Laboratory Accreditation Program) approved laboratory.

## **LEAD-BASED PAINT SURVEY RESULTS**

Below you will find a chart summarizing the components with concentrations above the HUD/EPA level of 1.0 mg/cm<sup>2</sup>. Detectable lead quantities less than 1.0 mg/cm<sup>2</sup> may constitute a lead dust hazard even though it is not a lead-based paint as defined by Federal Standards. The XRF Testing Report is attached to this report.

**No lead-based paints (as defined by HUD/EPA) were detected at the property.**

## **SINGLE SURFACE LEAD WIPE SAMPLING RESULTS**

Below you will find charts summarizing lead wipe sampling performed at the subject property. EPA standards for wipe sampling are 10 ug/ft<sup>2</sup> (floors) and 100 ug/ft<sup>2</sup> (interior window sills and wells).

### 708 Mountain Creek Road (Lead Dust Wipes)

SAMPLE #	ROOM NAME	SURFACE TYPE	LEAD CONTENT (ug/ft2)
MC-01	Room A/B	Floor	<2.0
MC-02	Room A/B	Window Sill	4.7
MC-03	Room C/D	Floor	2.5
<b>MC-04</b>	<b>Room C/D</b>	<b>Window Sill</b>	<b>560</b>
MC-05	Room D/A	Floor	4.4
<b>MC-06</b>	<b>Room D/A</b>	<b>Window Sill</b>	<b>470</b>
MC-07	Room B/C	Floor	<2.0
MC-08	Room A	Window Will	21

\* Samples damaged during transport and not analyzed.

The Laboratory results of the single-surface wipe samples obtained from the subject property determined that lead concentrations were **above** the respective standard for lead in sample MC-04 and MC-06. Specialized cleaning of this surface (and other untested surfaces of the same type) is recommended.

### COMPOSITE SOIL SAMPLING RESULTS

For the purpose of this risk assessment, soil samples were obtained as a composite sample in order to represent soil conditions at the subject property. Current EPA Regulations establish lead hazard limits of 400 ppm for high contact playground areas, and 1,200 ppm for other residential yard areas.

### 708 Mountain Creek Road (Soil Sample)

Sample #	Location	Bare or Covered	Lead Content (ppm)
MC-S-01	Front Yard	Bare	110
MC-S-02	Dripline	Bare	38
MC-S-03	Yard	Bare	26

Based on laboratory results, the composite soil samples obtained from the subject property were **below** the current EPA/HUD Standards for residential yard areas as well as high contact play areas.

### DISCLOSURE

According to the Federal Law (24 CFR part 35 and 40 CFR part 745) a copy of this summary must be provided to new tenants and purchasers of this facility/property, before they become obligated under a lease or sales contract. The entire report must also be provided to new purchasers and be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet, including standard warning language in their leases or sales contracts to ensure that parents have the information necessary to protect their children from lead-based paint hazards.

The Occupational Safety and Health Administration (OSHA) Lead in Construction Standard states that “negative” readings (i.e. those below the HUD/EPA definition of what constitutes LBP [1.0 mg/cm<sup>2</sup>] **does not** relieve contractors from performing exposure assessments (personal air monitoring) on their employees per the OSHA Lead Standard, and should not be interpreted as lead free. Although a reading may indicate “negative”, airborne lead concentrations still may exceed the OSHA Action Level or the OSHA Permissible exposure limit (PEL) depending on the work activity.

## **QUALIFICATIONS**

This report summarizes Matrix’s evaluation of the conditions observed at the subject property during the course of the survey to identify lead-based paints. Our findings are based upon our observations at the residence and XRF testing performed at the time of this survey. Additional lead-based paints may exist in other portions of the residence but were undetected due to inaccessibility or due to an imperceptible change in paints. Any conditions discovered which deviate from the data contained in this report should be presented to us for our evaluation.

Matrix appreciates the opportunity to have provided these services. We would be glad to discuss any of the results contained in this report, at your convenience. If there are any questions concerning this report or results, please contact us.

Sincerely,

## **MATRIX HEALTH AND SAFETY CONSULTANTS, L.L.C.**



C. Britt Wester, CIH  
Principal

Attachment:           XRF Testing Report  
                              Laboratory Analytical Results  
                              Risk Assessment Forms

## **XRF Testing Report**

## 708 Mountain Creek Road - Robbinsville, NC

Fleetwood Daniels Group  
PO Box 1144  
Waynesville, NC

INSPECTION SITE: 708 Mountain Creek Road  
Robbinsville, NC

INSPECTION DATE: 5/22/2023 - 5/22/2023

INSTRUMENT TYPE: Viken Detection  
Pb200i XRF Lead Paint Analyzer  
3194

ACTION LEVEL: 1.0 (mg/cm<sup>2</sup>)

Job ID: 708I Mountain Creek

STATEMENT: None

# 708 Mountain Creek Road - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
 Total Readings: 107  
 Unit Started: 05/22/2023 12:59:12  
 Unit Ended: 05/22/2023 14:02:31

Inspection Site: 708 Mountain Creek Road  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1868	Negative	Off	Wall	Metal	A	Intact	Brown	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1869	Negative	Off	Door	Metal	A	Intact	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1870	Negative	Off	Door Jamb	Wood	A	Intact	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1871	Negative	Off	Door Casing	Wood	A	Intact	White	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1872	Negative	Off	Screen Door	Wood	A	Intact	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1873	Negative	Off	Window Casing	Wood	A	Intact	White	First	Exterior	0.3 mg/cm <sup>2</sup>	Action Level
1874	Negative	Off	Window Sash	Wood	A	Intact	White	First	Exterior	0.3 mg/cm <sup>2</sup>	Action Level
1875	Negative	Off	Wall	Wood	A	Intact	Brown	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1876	Negative	Off	Window Casing	Wood	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1877	Negative	Off	Window Sash	Wood	A	Deteriorated	Black	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1878	Negative	Off	Floor	Wood	A	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1879	Negative	Off	Railing	Wood	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1880	Negative	Off	Newel Post	Wood	A	Deteriorated	White	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1881	Negative	Off	Column	Wood	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1882	Negative	Off	Window Sash	Vinyl	A	Intact	Tan	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1883	Negative	Off	Window Sill	Wood	A	Deteriorated	White	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1884	Negative	Off	Stoop	Concrete	A	Intact	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1885	Negative	Off	Soffit	Wood	A	Intact	Brown	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level



# 708 Mountain Creek Road - Robbinsville, NC

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Inspection Site: 708 Mountain Creek Road  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1886	Negative	Off	Fascia Board	Wood	A	Intact	Brown	First	Exterior	0.2 mg/cm <sup>2</sup>	Action Level
1887	Negative	Off	Gutter	Metal	A	Intact	White	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1888	Negative	Off	Wall	Metal	B	Intact	Brown	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1889	Negative	Off	Window Casing	Wood	B	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1890	Negative	Off	Window Casing	Wood	B	Deteriorated	White	First	Exterior	0.4 mg/cm <sup>2</sup>	Action Level
1891	Negative	Off	Window Sill	Wood	B	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1892	Negative	Off	Wall	Wood	B	Deteriorated	Brown	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1893	Negative	Off	Wall	Wood	C	Deteriorated	Brown	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1894	Negative	Off	Wall	Metal	C	Intact	Brown	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1895	Negative	Off	Closet Wall	Wood	C	Intact	Brown	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1896	Negative	Off	Door Casing	Wood	C	Intact	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1897	Negative	Off	Screen Door	Wood	C	Intact	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1898	Negative	Off	Door Jamb	Wood	C	Intact	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1899	Negative	Off	Door	Vinyl	C	Deteriorated	Blue	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1900	Negative	Off	Floor	Wood	C	Deteriorated	Blue	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1901	Negative	Off	Window Casing	Wood	C	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1902	Negative	Off	Window Sill	Wood	C	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1903	Negative	Off	Wall	Wood	C	Deteriorated	Brown	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level

# 708 Mountain Creek Road - Robbinsville, NC

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Inspection Site: 708 Mountain Creek Road  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1904	Negative	Off	Soffit	Wood	C	Deteriorated	Brown	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1905	Negative	Off	Soffit	Wood	D	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1906	Negative	Off	Fascia Board	Wood	D	Deteriorated	White	First	Exterior	0.6 mg/cm <sup>2</sup>	Action Level
1907	Negative	Off	Wall	Wood	D	Deteriorated	White	First	Exterior	0.6 mg/cm <sup>2</sup>	Action Level
1908	Negative	Off	Window Casing	Wood	D	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1909	Negative	Off	Window Apron	Wood	D	Deteriorated	White	First	Exterior	0.3 mg/cm <sup>2</sup>	Action Level
1910	Negative	Off	Window Sill	Wood	D	Deteriorated	White	First	Exterior	0.2 mg/cm <sup>2</sup>	Action Level
1911	Negative	Off	Window Sash	Wood	D	Deteriorated	Black	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1912	Negative	Off	Wall	Wood	A	Intact	Gray	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1913	Negative	Off	Wall	Wood	B	Intact	Gray	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1914	Negative	Off	Wall	Wood	C	Intact	Stain	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1915	Negative	Off	Wall	Wood	D	Intact	Stain	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1916	Negative	Off	Wall	Wood	D	Intact	White	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1917	Negative	Off	Door Casing	Wood	A	Intact	White	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1918	Negative	Off	Door	Metal	A	Intact	Gray	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1919	Negative	Off	Ceiling	Wood	A	Intact	White	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1920	Negative	Off	Base Board	Wood	A	Intact	White	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1921	Negative	Off	Column	Wood	A	Intact	Gray	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level

# 708 Mountain Creek Road - Robbinsville, NC

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 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode	
1922	Negative	Off	Doorway	Casing	Wood	C	Deteriorated	Gray	First	Living Room1	0.1 mg/cm <sup>2</sup>	Action Level
1923	Negative	Off	Wall		Wood	A	Intact	Stain	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
1924	Negative	Off	Wall		Wood	B	Intact	Wallpaper	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
1925	Negative	Off	Wall		Wood	C	Intact	Wallpaper	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
1926	Negative	Off	Wall		Drywall	D	Intact	Wallpaper	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
1927	Negative	Off	Ceiling		Drywall	D	Intact	White	First	Kitchen1	0.3 mg/cm <sup>2</sup>	Action Level
1928	Negative	Off	Cabinet		Wood	B	Intact	Stain	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
1929	Negative	Off	Cabinet		Metal	B	Intact	White	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
1930	Negative	Off	Wall		Wood	A	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1931	Negative	Off	Wall		Wood	B	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1932	Negative	Off	Wall		Wood	C	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1933	Negative	Off	Wall		Drywall	D	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1934	Negative	Off	Ceiling		Drywall	D	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1935	Negative	Off	Door		Wood	B	Intact	White	First	Hall1	0.1 mg/cm <sup>2</sup>	Action Level
1936	Negative	Off	Door	Casing	Wood	B	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1937	Negative	Off	Door	Casing	Wood	D	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1938	Negative	Off	Door		Wood	D	Intact	White	First	Hall1	0.0 mg/cm <sup>2</sup>	Action Level
1939	Negative	Off	Wall		Wood	A	Intact	Stain	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level

# 708 Mountain Creek Road - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
 Total Readings: 107  
 Unit Started: 05/22/2023 12:59:12  
 Unit Ended: 05/22/2023 14:02:31

Inspection Site: 708 Mountain Creek Road  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1940	Negative	Off	Wall	Wood	B	Intact	Stain	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1941	Negative	Off	Wall	Wood	D	Intact	Stain	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1942	Negative	Off	Wall	Drywall	C	Intact	White	First	Bedroom C	0.2 mg/cm <sup>2</sup>	Action Level
1943	Negative	Off	Ceiling	Drywall	C	Intact	White	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1944	Negative	Off	Door	Wood	A	Deteriorated	White	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1945	Negative	Off	Door Jamb	Wood	A	Deteriorated	White	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1946	Negative	Off	Window Casing	Wood	C	Deteriorated	White	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1947	Negative	Off	Window Sill	Wood	C	Deteriorated	White	First	Bedroom C	0.0 mg/cm <sup>2</sup>	Action Level
1948	Negative	Off	Wall	Wood	A	Intact	Stain	First	Bedroom C/D	0.1 mg/cm <sup>2</sup>	Action Level
1949	Negative	Off	Wall	Wood	B	Intact	Stain	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1950	Negative	Off	Wall	Wood	C	Intact	Stain	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1951	Negative	Off	Wall	Wood	D	Intact	Stain	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1952	Negative	Off	Ceiling	Drywall	D	Intact	White	First	Bedroom C/D	0.1 mg/cm <sup>2</sup>	Action Level
1953	Negative	Off	Window Jamb	Wood	D	Deteriorated	White	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1954	Negative	Off	Window Sill	Wood	D	Deteriorated	White	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1955	Negative	Off	Door Casing	Wood	A	Deteriorated	White	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1956	Negative	Off	Door	Wood	A	Deteriorated	White	First	Bedroom C/D	0.0 mg/cm <sup>2</sup>	Action Level
1957	Negative	Off	Wall	Drywall	A	Intact	White	First	Bedroom D/A	0.1 mg/cm <sup>2</sup>	Action Level

# 708 Mountain Creek Road - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
 Total Readings: 107  
 Unit Started: 05/22/2023 12:59:12  
 Unit Ended: 05/22/2023 14:02:31

Inspection Site: 708 Mountain Creek Road  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1958	Negative	Off	Wall	Drywall	B	Intact	White	First	Bedroom D/A	0.1 mg/cm <sup>2</sup>	Action Level
1959	Negative	Off	Wall	Drywall	C	Intact	White	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1960	Negative	Off	Wall	Drywall	D	Intact	White	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1961	Negative	Off	Door	Wood	B	Intact	White	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1962	Negative	Off	Door Casing	Wood	B	Intact	White	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1963	Negative	Off	Ceiling	Drywall	B	Intact	White	First	Bedroom D/A	0.1 mg/cm <sup>2</sup>	Action Level
1964	Negative	Off	Window Casing	Wood	D	Deteriorated	White	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1965	Negative	Off	Window Sash	Wood	D	Deteriorated	Green	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1966	Negative	Off	Floor	Wood	D	Intact	Stain	First	Bedroom D/A	0.0 mg/cm <sup>2</sup>	Action Level
1967	Negative	Off	Wall	Wood	A	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1968	Negative	Off	Wall	Wood	B	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1969	Negative	Off	Wall	Wood	C	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1970	Negative	Off	Wall	Wood	D	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1971	Negative	Off	Ceiling	Drywall	D	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1972	Negative	Off	Door	Wood	C	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1973	Negative	Off	Door Jamb	Wood	C	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
1974	Negative	Off	Window Jamb	Wood	A	Intact	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level

----- END OF READINGS -----

Fleetwood Daniels Group PO Box 1144 Waynesville, NC

## **Laboratory Analytical Results**



# Analysis for Lead Concentration in Wipe Samples

by Flame Atomic Absorption Spectroscopy  
EPA SW-846 3050B/6010C/7000B



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023935

**Analysis:** PBW

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 708 Mountain Creek Rd. - Robbinsville, NC

Sample ID	Description	Area (ft <sup>2</sup> )	Concentration (µg)	Concentration (µg/ft <sup>2</sup> )
Lab Sample ID	Lab Notes			
MC-01	Room AB floor entry	1	<2.0	<2.0
10023935_0001				
MC-02	Room AB sill side A	0.632	3.0	4.7
10023935_0002				
MC-03	Room CD floor	1	2.5	2.5
10023935_0003				
MC-04	Room CS sill side D	1.19	660	560
10023935_0004				
MC-05	Room DA floor	1	4.4	4.4
10023935_0005				
MC-06	Room DA sill side D	0.911	430	470
10023935_0006				
MC-07	Room BC floor	1	<2.0	<2.0
10023935_0007				
MC-08	Room A sill side A	0.389	8.1	21
10023935_0008				

Disclaimer: Unless otherwise noted blank sample correction was not performed on analytical results. Scientific Analytical Institute participates in the AIHA ELPAT program. ELPAT Laboratory ID: 173190. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. Analytical uncertainty available upon request. The quality control samples run with the samples in this report have passed all EPA required specifications unless otherwise noted. RL: (Report Limit for an undiluted 25 ml sample is 2µg Total Pb). Unless indicated, areas and volumes were provided by the customer.

Kristina Dumais (8)

Analyst

Approved Signatory









## **Risk Assessment Forms**



**Form 5.0 Questionnaire for a Lead Hazard Risk Assessment of an Individual Occupied Dwelling Unit**

(To be completed by risk assessor via interview with owner-occupant or, if a rental unit, an adult resident and, for questions 15 & 16, the owner.)

Property address 708 Mountain Creek Rd. - Robbinsville, NC

Apt. No. \_\_\_\_\_ Unit is  Owner occupied  Renter occupied

Year of construction 1964 Prior LBP testing?  Yes  No

Name of owner interviewed Gertrude Millsaps Owner interview date: 5/22/23

Name of resident interviewed (if rental unit) \_\_\_\_\_ Interview date: \_\_\_/\_\_\_/\_\_\_

Name of risk assessor Josh Smathers

**Children and Children's Habits**

1. Do any children under age 6 live in the home or visit frequently?  Yes  No

2. If yes, how many? \_\_\_\_\_

3. Please provide the following information about each child under 6 to the extent you can.

	Child 1	Child 2	Child 3	Child 4
(a) Age:				
(b) Blood lead level:				
(c) Month/year of blood lead test:				
(d) Location of bedroom:				
(e) Main room where child eats:				
(f) Main room where child plays:				
(g) Main room where toys are stored:				
(h) Main locations where child plays outdoors:				

(If a resident child under age 6 has had an elevated blood lead level, an environmental investigation may be necessary [see Chapter 16 of the HUD Guidelines].)

4. (a) Do any children tend to chew on any painted surfaces, such as interior window sills?  Yes  No

(b) If yes, where? \_\_\_\_\_



**Form 5.0 Questionnaire for a Lead Hazard Risk Assessment  
of an Individual Occupied Dwelling Unit**

Property address 708 Mountain Creek Rd - Robbinsville, NC

**Other Household Information and Family Use Patterns**

5. Do women of child-bearing age live in the home?  Yes  No

6. If the home is in a building with other dwelling units, what common areas in the building are used by children?

\_\_\_\_\_

7. (a) Which entrance is used most frequently? Front  
(b) What other entrances are used frequently? R. kitchen

8. Which windows are opened most frequently? Living Room, Bathroom

9. (a) Do you use window air conditioners? \*  Yes  No

(b) If yes where? Side B

\* Condensation underneath window air conditioners often causes paint deterioration.

10. (a) Do you or any other household members garden?  Yes  No

(b) If yes, where is the garden? \_\_\_\_\_

11. (a) Are you planning any landscaping activities that will remove grass or ground covering?  Yes  No

(b) If yes, where? \_\_\_\_\_

12. (a) Which areas of the home get cleaned regularly? All

(b) Which areas of the home do not get cleaned regularly? None

13. (a) Are any household members exposed to lead at work?  Yes  No

(if no, go to question 14.)

(b) If yes, are dirty work clothes brought home?  Yes  No

(c) If they are brought home, who handles dirty work clothes and where are they placed and cleaned?

14. (a) Do you have pets?  Yes  No

(b) If yes, do these pets go outdoors? \_\_\_\_\_

**Building Renovations**

15. (a) Were any building renovations or repainting done here during the past year?  Yes  No

(b) If yes, what work was done, and when? \_\_\_\_\_

(c) Were carpets, furniture and/or family belongings present in the work areas?  Yes  No

(d) If yes, which items and where were they? \_\_\_\_\_

(e) Was construction debris stored in the yard?  Yes  No

(f) If yes, describe what, where and how was it stored. \_\_\_\_\_

16. (a) Are you conducting or planning any building renovations?  Yes  No

(b) If yes, what work will be done, and when? \_\_\_\_\_





**Form 5.1 Building Condition Form for Lead Hazard Risk Assessment.**

Property address 708 Mountain Creek Rd. - Robbinsville, NC Apt. No. \_\_\_\_\_  
 Name of property owner Gertrude Millsaps  
 Name of risk assessor Josh Sautters Date of assessment 5/22/23

Condition	Yes	No	Comments
Roof missing parts of surfaces (tiles, boards, shakes, etc.)		/	
Roof has holes or large cracks		/	
Gutters or downspouts broken		/	
Chimney masonry cracked, bricks loose or missing, obviously out of plumb		/	
Exterior or interior walls have obvious large cracks or holes, requiring more than routine pointing (if masonry) or painting	/		
Exterior siding has missing boards or shingles	/		
Water stains on interior walls or ceilings	/		
Walls or ceilings deteriorated	/		
More than "very small" amount of paint in a room deteriorated	/		
Two or more windows or doors broken, missing, or boarded up	/		
Porch or steps have major elements broken, missing, or boarded up		/	
Foundation has major cracks, missing material, structure leans, or visibly unsound	/		
** Total number	7		

\* The "very small" amount is the *de minimis* amount under the HUD Lead Safe Housing Rule (24 CFR 35.1350(d)) or the amount of paint that is not "paint in poor condition" under the EPA lead training and certification ("402") rule (40 CFR 745.223).

\*\* If the "yes" column has any checks, the dwelling is usually considered not to be in good condition for the purposes of a risk assessment, and conducting a lead hazard screen is not advisable. However, specific conditions and extenuating circumstances should be considered before determining the final condition of the dwelling and the appropriateness of a lead hazard screen. If the "Yes" column has any checks, and a lead hazard screen is to be performed, describe below the extenuating circumstances that justify conducting a lead hazard screen.

**Notes (including other conditions of concern):**





**Form 5.2 Report of Visual Assessment (for Lead Hazard Risk Assessment).**

Property address 708 Mountain Creek Rd - Robbinsville, NC Apt. No. 1 of 1

Name of property owner Gertrude Millsaps

Name of risk assessor Josh Smithers Date of assessment 8 / 24 23

Area Description		Deteriorated Paint			Friction Or Impact Surface? (F or I)	Visible Teeth Marks? (Y or N)	Paint Testing Results <sup>4</sup>	Notes [e.g., paint testing (e.g., XRF, lab analysis) indicates paint is or is not lead-based paint; causes(s) of hazard control failures]
Location of Building Component, dust or Bare Soil	Building Component, Dust, or Bare Soil Play Area / Non-Play Area	Area (sq. ft.)	Is Area Small? <sup>2</sup> (Y or N)	Probable Cause(s) of Deterioration if Known <sup>3</sup>				
Exterior	Figging Soft Spot on Gable End	80	N	Weathering	N			
Room BC	Wall	90	N	Moisture	N			
Room C	Ceiling	9	N	Moisture	N			
Room CD	Windows Ceiling	20	N	Moisture	N			
Room DA	Windows Sash & Casings	20	N	Moisture	N			
Room A	Walls	40	N	Moisture	N			

<sup>1</sup> Include room equivalent or exterior side or wall, as appropriate.

<sup>2</sup> Lead-safe work practices and clearance/cleaning verification are not required if work does not disturb painted surfaces that total more than

❖ For assisted housing: HUD's *de minimis* area of: 20 ft<sup>2</sup> or less on exterior surfaces, 2 ft<sup>2</sup> or less in any one interior room or space, or 10 percent of the total surface area on an interior or exterior type of component with a small surface area (such as trim, window sills, baseboards);

❖ For unassisted housing, and for child-occupied facilities, EPA's minor repair and maintenance activities threshold of 6 ft<sup>2</sup> or less per room; or 20 ft<sup>2</sup> or less for exterior activities; provided that no prohibited or restricted work practices were used and no window replacement or demolition of painted surface areas is to be done.

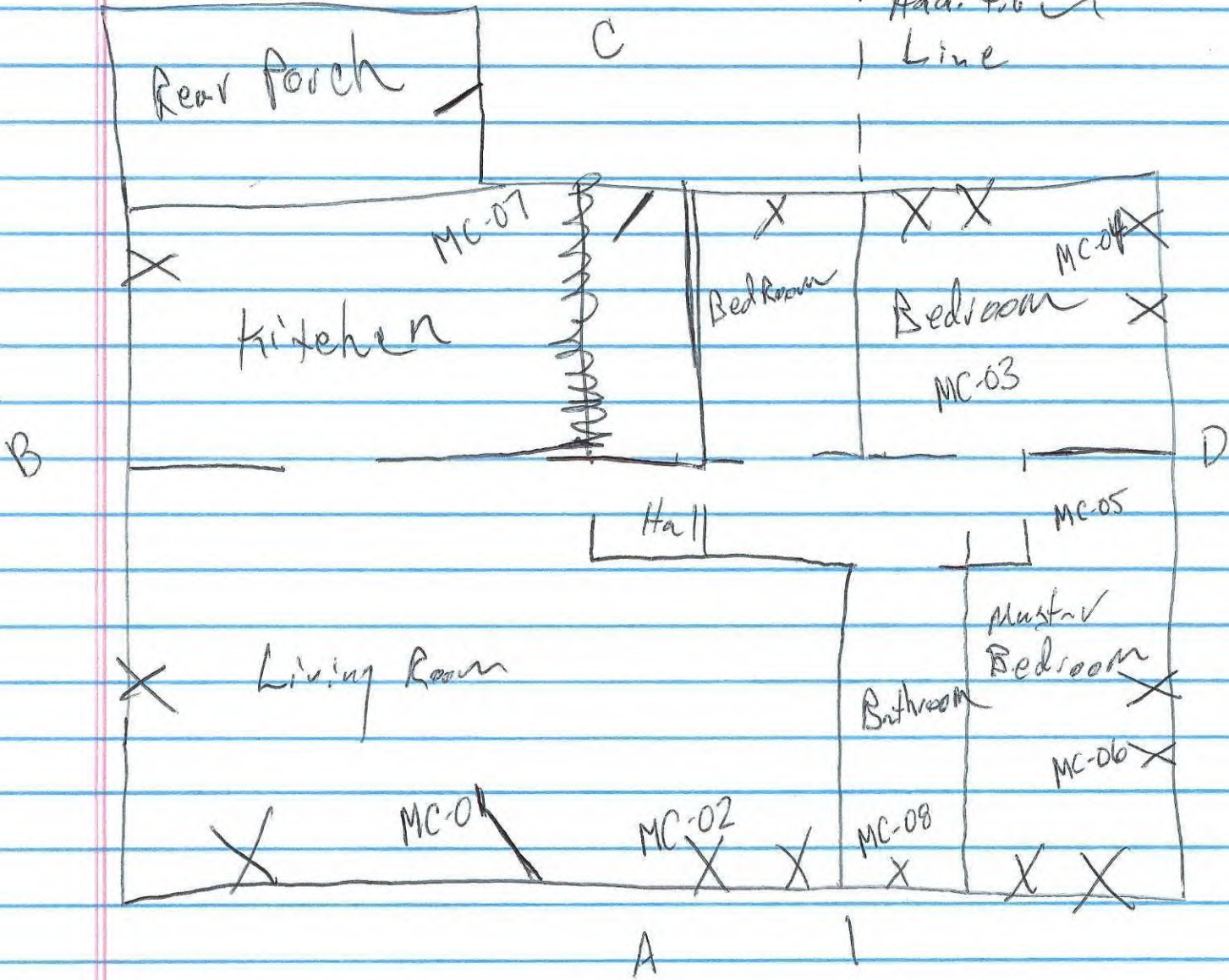
<sup>3</sup> Common causes of paint deterioration are: moisture (indicate source if apparent), mildew, friction or abrasion, impact, damaged or deteriorated substrate, and severe heat.

<sup>4</sup> If paint testing results are obtained on site, use this column to record the result. If a paint chip sample is sent to the laboratory, use this column to record the sample number (or other unique identifier) as a reference to another record containing the sampling data and laboratory results.



709 Mountain Creek Rd - Robbinsville

- | Renovation
- | Addition
- | Line



- Many windows missing sashes
- Only storm windows in most areas











**MATRIX**  
Health & Safety Consultants, L.L.C.

# **XRF Lead-Based Paint Inspection & Risk Assessment Report**

Report Date: May 30, 2023

**Conducted At:**

297 Cottontail Lane  
Robbinsville, NC 28771

**Prepared For:**

Graham County  
12 N Main Street  
196 Knight Street  
Robbinsville, NC 28771

**Provided by:**

Matrix Health & Safety Consultants, L.L.C.  
NC Certified Lead-Based Paint Firm No. FPB-00122  
Josh Smathers: NC Certified Lead-Based Paint Risk Assessor No. 120223

Matrix Job # 230566

## PROJECT INFORMATION

Matrix Health & Safety Consultants, L.L.C. (Matrix) is pleased to present this report of the survey to identify lead-based paint and perform a lead risk assessment of the property located at 297 Cottontail Lane, in Robbinsville, North Carolina. The subject unit tested is a one-story structure and was unoccupied at the time of the survey. This inspection/risk assessment report includes analytical methods and limitations, discussion of XRF procedures, risk assessment procedures, summary of findings, and recommendations.

Josh Smathers performed the lead-based paint survey and risk assessment at the subject property on May 22, 2023.

## INSPECTION/RISK ASSESSMENT PROCEDURES

The lead-based paint survey began with our inspectors/risk assessors walking the subject property and documenting room equivalents, testing combinations, and selecting test locations. The walls/sides of the property are distinguished by Side A, B, C, or D. Wall or side A is facing the street, then moving clockwise would be wall/side B, C (located at rear of property), and D. After the testing strategy was determined, Matrix used a Viken Pb200i Lead Paint Spectrum Analyzer (XRF) to determine the lead content (mg/cm<sup>2</sup>) of painted surfaces at the subject residence. For the purpose of this survey, paints with concentrations of 1.0 mg/cm<sup>2</sup> or greater were considered lead-based paint. The inspection was conducted following EPA's work practice standards for conducting lead-based paint activities (40 CFR 745.227), the U.S. Department of Housing and Urban Development (HUD) *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* (Guidelines) with the 1997 and 2000 revisions, and all State and local regulations.

During the inspection the paint was identified as intact or deteriorated. The table below is the HUD/EPA guideline for assessing paint conditions under Title X of the 1992 Housing and Community Development Act (Revision 1/2004).

**HUD and EPA  
 Categories of Paint Film Quality**

Type of Building Component <sup>1</sup>	Intact	Deteriorated <sup>2</sup>
Exterior components with large surface areas	Entire surface is intact or less than or equal to 20 ft <sup>2</sup>	Damage to more than 20 ft <sup>2</sup>
Interior components with large surface areas (wall, ceilings, floors, doors)	Entire surface is intact or less than or equal to 2 ft <sup>2</sup>	Damage to more than 2 ft <sup>2</sup>
Interior and exterior components with small surface areas (window sills, baseboards, soffits, trim)	Entire surface is intact or less than or equal to 10% of the total surface area of the component	Damage to more than 10% of the total surface area of the component

1 “Building Component” in this table refers to each individual component or side of building, **not** the combined surface area of all similar components in a room (e.g., a wall with three ft<sup>2</sup> of deteriorated paint is considered “deteriorated”, even if the other 3 walls in a room have no deteriorated paint).

2 Surfaces in “deteriorated” condition are considered to be “lead-based paint hazards” as defined in Title X and should be addressed through abatement or interim controls.

After delineating lead-based paints at the subject residence, Matrix performed a risk assessment. A lead-based paint risk assessment is defined as an on-site investigation to determine the existence, nature, severity, and location of lead-based paint hazards. This was performed by assessing the current condition of the residence, the condition of lead-based paints, along with dust and soil sampling (if required). If residents are available, Matrix also requests that HUD provided resident questionnaires be completed. The risk assessment was conducted following EPA’s work practice standards for conducting lead-based paint activities (40 CFR 745.227), the U.S. Department of Housing and Urban Development (HUD) *Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing* (Guidelines) with the 1997 and 2000 revisions, and all State and local regulations. However, the State of North Carolina does not allow composite dust wipe samples therefore, only single-surface dust samples were obtained. The Building Condition, Paint Conditions, Dust Wipe Sampling, and Soil Sampling forms are attached with this report.

Lead wipe and composite soil samples were sent under chain-of-custody documentation to Scientific Analytical Institute in Greensboro, North Carolina, for laboratory analysis. The collected samples were placed into individual sample containers, sealed and a unique identification number was assigned to the sample containers at the time of collection. The identification included the sample collection date and locations. This information was logged on our lead wipe and soil sampling forms and submitted to the laboratory. SAI is an AIHA Accredited ELLAP (Environmental Lead Laboratory Accreditation Program) approved laboratory.

## **LEAD-BASED PAINT SURVEY RESULTS**

Below you will find a chart summarizing the components with concentrations above the HUD/EPA level of 1.0 mg/cm<sup>2</sup>. Detectable lead quantities less than 1.0 mg/cm<sup>2</sup> may constitute a lead dust hazard even though it is not a lead-based paint as defined by Federal Standards. The XRF Testing Report is attached to this report.

**No lead-based paints (as defined by HUD/EPA) were detected at the property.**

## **SINGLE SURFACE LEAD WIPE SAMPLING RESULTS**

Below you will find charts summarizing lead wipe sampling performed at the subject property. EPA standards for wipe sampling are 10 ug/ft<sup>2</sup> (floors) and 100 ug/ft<sup>2</sup> (interior window sills and wells).

### 297 Cottontail Lane (Lead Dust Wipes)

SAMPLE #	ROOM NAME	SURFACE TYPE	LEAD CONTENT (ug/ft2)
CB-1	Room A/B	Floor	2.1
CB-2	Room A/B	Window Sill	4.3
CB-3	Kitchen	Floor	<2.0
<b>CB-4</b>	<b>Kitchen</b>	<b>Window Sill</b>	<b>250</b>
CB-5	Room D/A	Floor	*
CB-6	Bathroom	Floor	*

\* Samples damaged during transport and not analyzed.

The Laboratory results of the single-surface wipe samples obtained from the subject property determined that lead concentration was **above** the respective standard for lead in sample CB-4. Specialized cleaning of this surface (and other untested surfaces of the same type) is recommended.

### COMPOSITE SOIL SAMPLING RESULTS

For the purpose of this risk assessment, soil samples were obtained as a composite sample in order to represent soil conditions at the subject property. Current EPA Regulations establish lead hazard limits of 400 ppm for high contact playground areas, and 1,200 ppm for other residential yard areas.

### 297 Cottontail Lane (Soil Sample)

Sample #	Location	Bare or Covered	Lead Content (ppm)
C-S-01	Front Porch Area	Bare	29
C-S-02	Dripline	Bare	22
C-S-03	Yard	Bare	24

Based on laboratory results, the composite soil samples obtained from the subject property were **below** the current EPA/HUD Standards for residential yard areas as well as high contact play areas.

### DISCLOSURE

According to the Federal Law (24 CFR part 35 and 40 CFR part 745) a copy of this summary must be provided to new tenants and purchasers of this facility/property, before they become obligated under a lease or sales contract. The entire report must also be provided to new purchasers and be made available to new tenants. Landlords (lessors) and sellers are also required to distribute an educational pamphlet, including standard warning language in their leases or sales contracts to ensure that parents have the information necessary to protect their children from lead-based paint hazards.

The Occupational Safety and Health Administration (OSHA) Lead in Construction Standard states that “negative” readings (i.e. those below the HUD/EPA definition of what constitutes LBP [1.0 mg/cm<sup>2</sup>]) **does not** relieve contractors from performing exposure assessments (personal air monitoring) on their employees per the OSHA Lead

Standard, and should not be interpreted as lead free. Although a reading may indicate “negative”, airborne lead concentrations still may exceed the OSHA Action Level or the OSHA Permissible exposure limit (PEL) depending on the work activity.

## **QUALIFICATIONS**

This report summarizes Matrix’s evaluation of the conditions observed at the subject property during the course of the survey to identify lead-based paints. Our findings are based upon our observations at the residence and XRF testing performed at the time of this survey. Additional lead-based paints may exist in other portions of the residence but were undetected due to inaccessibility or due to an imperceptible change in paints. Any conditions discovered which deviate from the data contained in this report should be presented to us for our evaluation.

Matrix appreciates the opportunity to have provided these services. We would be glad to discuss any of the results contained in this report, at your convenience. If there are any questions concerning this report or results, please contact us.

Sincerely,

## **MATRIX HEALTH AND SAFETY CONSULTANTS, L.L.C.**



C. Britt Wester, CIH  
Principal

Attachment:           XRF Testing Report  
                              Laboratory Analytical Results  
                              Risk Assessment Forms



## **XRF Testing Report**

## 297 Cottontail Lane - Robbinsville, NC

Fleetwood Daniels Group  
PO Box 1144  
Waynesville, NC

INSPECTION SITE: 297 Cottontail Lane  
Robbinsville, NC

INSPECTION DATE: 5/22/2023 - 5/22/2023

INSTRUMENT TYPE: Viken Detection  
Pb200i XRF Lead Paint Analyzer  
3194

ACTION LEVEL: 1.0 (mg/cm<sup>2</sup>)

Job ID: 297 cottontail

STATEMENT: None

## 297 Cottontail Lane - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
 Total Readings: 63  
 Unit Started: 05/22/2023 14:24:54  
 Unit Ended: 05/22/2023 15:05:38

Inspection Site: 297 Cottontail Lane  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1975	Negative	Off	Wall	Wood	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1976	Negative	Off	Wall	Metal	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1977	Negative	Off	Door	Wood	A	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1978	Negative	Off	Door Casing	Wood	A	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1979	Negative	Off	Door Jamb	Wood	A	Deteriorated	Tan	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1980	Negative	Off	Window Casing	Wood	A	Deteriorated	White	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1981	Negative	Off	Railing	Wood	A	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1982	Negative	Off	Wall	Wood	B	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1983	Negative	Off	Window Casing	Wood	B	Deteriorated	Stain	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1984	Negative	Off	Window Sash	Vinyl	B	Intact	White	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1985	Negative	Off	Soffit	Wood	B	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1986	Negative	Off	Fascia Board	Wood	B	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1987	Negative	Off	Wall	Metal	B	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1988	Negative	Off	Access Door	Wood	B	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1989	Negative	Off	Wall	Metal	C	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1990	Negative	Off	Wall	Wood	C	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1991	Negative	Off	Wall	Metal	D	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1992	Negative	Off	Door	Metal	D	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level

## 297 Cottontail Lane - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
 Total Readings: 63  
 Unit Started: 05/22/2023 14:24:54  
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Inspection Site: 297 Cottontail Lane  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
1993	Negative	Off	Fascia Board	Wood	D	Deteriorated	Gray	First	Exterior	0.1 mg/cm <sup>2</sup>	Action Level
1994	Negative	Off	Soffit	Wood	D	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1995	Negative	Off	Column	Wood	D	Deteriorated	Gray	First	Exterior	0.0 mg/cm <sup>2</sup>	Action Level
1996	Negative	Off	Ceiling	Wood	D	Deteriorated	White	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1997	Negative	Off	Door Casing	Wood	D	Deteriorated	Gray	First	Living Room1	0.0 mg/cm <sup>2</sup>	Action Level
1998	Negative	Off	Wall	Wood	A	Deteriorated	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
1999	Negative	Off	Wall	Wood	A	Deteriorated	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2000	Negative	Off	Wall	Wood	B	Deteriorated	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2001	Negative	Off	Wall	Wood	C	Deteriorated	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2002	Negative	Off	Wall	Wood	D	Deteriorated	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2003	Negative	Off	Ceiling	Drywall	D	Deteriorated	White	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2004	Negative	Off	Window Casing	Metal	A	Intact	Tan	First	Bed A	0.0 mg/cm <sup>2</sup>	Action Level
2005	Negative	Off	Wall	Wood	A	Deteriorated	White	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
2006	Negative	Off	Wall	Wood	B	Deteriorated	White	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2007	Negative	Off	Wall	Wood	C	Deteriorated	White	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2008	Negative	Off	Wall	Wood	D	Deteriorated	White	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2009	Negative	Off	Ceiling	Drywall	D	Deteriorated	White	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2010	Negative	Off	Trim	Wood	D	Deteriorated	Green	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level

## 297 Cottontail Lane - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
 Action Level: 1.0 (mg/cm<sup>2</sup>)  
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Inspection Site: 297 Cottontail Lane  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
2011	Negative	Off	Door	Metal	D	Deteriorated	Gray	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
2012	Negative	Off	Door Casing	Wood	D	Deteriorated	Gray	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2013	Negative	Off	Wall	Wood	D	Deteriorated	Gray	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2014	Negative	Off	Cabinet	Wood	B	Deteriorated	White	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2015	Negative	Off	Cabinet	Wood	B	Deteriorated	Red	First	Kitchen1	0.0 mg/cm <sup>2</sup>	Action Level
2016	Negative	Off	Cabinet	Wood	C	Deteriorated	White	First	Kitchen1	0.1 mg/cm <sup>2</sup>	Action Level
2017	Negative	Off	Wall	Wood	A	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2018	Negative	Off	Wall	Wood	B	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2019	Negative	Off	Wall	Wood	C	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2020	Negative	Off	Wall	Wood	D	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2021	Negative	Off	Door Jamb	Wood	D	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2022	Negative	Off	Ceiling	Drywall	D	Deteriorated	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2023	Negative	Off	Bathtub	Porcelain	B	Intact	Blue	First	Bathroom1	0.2 mg/cm <sup>2</sup>	Action Level
2024	Negative	Off	Cabinet	Wood	C	Deteriorated	White	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2025	Negative	Off	Bedroom C	Wood	A	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2026	Negative	Off	Bedroom C	Wood	B	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2027	Negative	Off	Bedroom C	Wood	C	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level
2028	Negative	Off	Bedroom C	Wood	D	Deteriorated	Blue	First	Bathroom1	0.0 mg/cm <sup>2</sup>	Action Level

## 297 Cottontail Lane - Robbinsville, NC

Inspection Date: 5/22/2023 - 5/22/2023  
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Inspection Site: 297 Cottontail Lane  
 Robbinsville, NC

Read #	Result	RTA Present	COMPONENT	SUBSTRATE	SIDE	CONDITION	Color	Floor	ROOM	Lead (mg/cm <sup>2</sup> )	Mode
2029	Negative	Off	Ceiling	Drywall	D	Deteriorated	White	First	Bed C	0.0 mg/cm <sup>2</sup>	Action Level
2030	Negative	Off	Door	Wood	A	Deteriorated	White	First	Bed C	0.0 mg/cm <sup>2</sup>	Action Level
2031	Negative	Off	Door Jamb	Wood	A	Deteriorated	Blue	First	Bed C	0.0 mg/cm <sup>2</sup>	Action Level
2032 (CAL)		Off								1.1 mg/cm <sup>2</sup>	Action Level
2033 (CAL)		Off								1.1 mg/cm <sup>2</sup>	Action Level
2034 (CAL)		Off								1.1 mg/cm <sup>2</sup>	Action Level
2035 (CAL)		Off								0.0 mg/cm <sup>2</sup>	Action Level
2036 (CAL)		Off								0.0 mg/cm <sup>2</sup>	Action Level
2037 (CAL)		Off								0.0 mg/cm <sup>2</sup>	Action Level

----- END OF READINGS -----

## **Laboratory Analytical Results**



# Analysis for Lead Concentration in Wipe Samples

by Flame Atomic Absorption Spectroscopy  
EPA SW-846 3050B/6010C/7000B



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023933

**Analysis:** PBW

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 297 Cottontail Lane - Robbinsville, NC

Sample ID	Description	Area (ft <sup>2</sup> )	Concentration (µg)	Concentration (µg/ft <sup>2</sup> )
Lab Sample ID	Lab Notes			
C-01	AB floor	1	2.1	2.1
10023933_0001				
C-02	AB sill	0.611	2.6	4.3
10023933_0002				
C-03	Kitchen floor	1	<2.0	<2.0
10023933_0003				
C-04	Kitchen sill	0.194	48	250
10023933_0004				
C-05	DA floor	1	Not Submitted	
10023933_0005				
C-06	Bathroom floor	1	Not Submitted	
10023933_0006				

Disclaimer: Unless otherwise noted blank sample correction was not performed on analytical results. Scientific Analytical Institute participates in the AIHA ELPAT program. ELPAT Laboratory ID: 173190. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. Analytical uncertainty available upon request. The quality control samples run with the samples in this report have passed all EPA required specifications unless otherwise noted. RL: (Report Limit for an undiluted 25 ml sample is 2µg Total Pb). Unless indicated, areas and volumes were provided by the customer.

Kristina Dumais (6)

Analyst

Approved Signatory









## **Risk Assessment Forms**



**Form 5.0 Questionnaire for a Lead Hazard Risk Assessment of an Individual Occupied Dwelling Unit**

(To be completed by risk assessor via interview with owner-occupant or, if a rental unit, an adult resident and, for questions 15 & 16, the owner.)

Property address 297 Cottontail Lane - Robbinsville, NC

Apt. No. \_\_\_\_\_ Unit is  Owner occupied  Renter occupied

Year of construction 1969 Prior LBP testing?  Yes  No

Name of owner interviewed Faye Waldrop Owner interview date: 5/24/23

Name of resident interviewed (if rental unit) \_\_\_\_\_ Interview date: \_\_\_/\_\_\_/\_\_\_

Name of risk assessor Josh Smethers

**Children and Children's Habits**

1. Do any children under age 6 live in the home or visit frequently?  Yes  No

2. If yes, how many? 2

3. Please provide the following information about each child under 6 to the extent you can.

	Child 1	Child 2	Child 3	Child 4
(a) Age:	<u>2</u>	<u>5</u>		
(b) Blood lead level:	<u>N/A</u>	<u>N/A</u>		
(c) Month/year of blood lead test:	<u>N/A</u>	<u>N/A</u>		
(d) Location of bedroom:	<u>C/D</u>	<u>D/A</u>		
(e) Main room where child eats:	<u>LR</u>	<u>LR</u>		
(f) Main room where child plays:	<u>LR</u>	<u>LR</u>		
(g) Main room where toys are stored:	<u>LR/Porch</u>	<u>LR/Porch</u>		
(h) Main locations where child plays outdoors:	<u>Side A</u>	<u>Side A</u>		

(If a resident child under age 6 has had an elevated blood lead level, an environmental investigation may be necessary [see Chapter 16 of the HUD Guidelines].)

4. (a) Do any children tend to chew on any painted surfaces, such as interior window sills?  Yes  No

(b) If yes, where? \_\_\_\_\_



**Form 5.0 Questionnaire for a Lead Hazard Risk Assessment  
of an Individual Occupied Dwelling Unit**

Property address 297 Cottontail Lane - Robbinsville, NC

**Other Household Information and Family Use Patterns**

5. Do women of child-bearing age live in the home?  Yes  No

6. If the home is in a building with other dwelling units, what common areas in the building are used by children?  
\_\_\_\_\_

7. (a) Which entrance is used most frequently? S.D. A  
(b) What other entrances are used frequently? S.D. D

8. Which windows are opened most frequently? Living Room

9. (a) Do you use window air conditioners? \*  Yes  No

(b) If yes where? \_\_\_\_\_

\* Condensation underneath window air conditioners often causes paint deterioration.

10. (a) Do you or any other household members garden?  Yes  No

(b) If yes, where is the garden? \_\_\_\_\_

11. (a) Are you planning any landscaping activities that will remove grass or ground covering?  Yes  No

(b) If yes, where? \_\_\_\_\_

12. (a) Which areas of the home get cleaned regularly? Kitchen

(b) Which areas of the home do not get cleaned regularly? All other

13. (a) Are any household members exposed to lead at work?  Yes  No

(if no, go to question 14.)

(b) If yes, are dirty work clothes brought home?  Yes  No

(c) If they are brought home, who handles dirty work clothes and where are they placed and cleaned?

14. (a) Do you have pets?  Yes  No

(b) If yes, do these pets go outdoors? Yes

**Building Renovations**

15. (a) Were any building renovations or repainting done here during the past year?  Yes  No

(b) If yes, what work was done, and when? \_\_\_\_\_

(c) Were carpets, furniture and/or family belongings present in the work areas?  Yes  No

(d) If yes, which items and where were they? \_\_\_\_\_

(e) Was construction debris stored in the yard?  Yes  No

(f) If yes, describe what, where and how was it stored. \_\_\_\_\_

16. (a) Are you conducting or planning any building renovations?  Yes  No

(b) If yes, what work will be done, and when? \_\_\_\_\_





**Form 5.1 Building Condition Form for Lead Hazard Risk Assessment.**

Property address 297 Cottontail Lane - Robbinsville, NC Apt. No. \_\_\_\_\_  
 Name of property owner Faye Waldroup  
 Name of risk assessor Josh Smathers Date of assessment 5/24/23

Condition	Yes	No	Comments
Roof missing parts of surfaces (tiles, boards, shakes, etc.)		/	
Roof has holes or large cracks	/		
Gutters or downspouts broken			N/A
Chimney masonry cracked, bricks loose or missing, obviously out of plumb			N/A
Exterior or interior walls have obvious large cracks or holes, requiring more than routine pointing (if masonry) or painting	/		
Exterior siding has missing boards or shingles	/		
Water stains on interior walls or ceilings	/		
Walls or ceilings deteriorated	/		
More than "very small" amount of paint in a room deteriorated	/		
Two or more windows or doors broken, missing, or boarded up	/		
Porch or steps have major elements broken, missing, or boarded up	/		
Foundation has major cracks, missing material, structure leans, or visibly unsound	/		
** Total number			

\* The "very small" amount is the *de minimis* amount under the HUD Lead Safe Housing Rule (24 CFR 35.1350(d)) or the amount of paint that is not "paint in poor condition" under the EPA lead training and certification ("402") rule (40 CFR 745.223).

\*\* If the "yes" column has any checks, the dwelling is usually considered not to be in good condition for the purposes of a risk assessment, and conducting a lead hazard screen is not advisable. However, specific conditions and extenuating circumstances should be considered before determining the final condition of the dwelling and the appropriateness of a lead hazard screen. If the "Yes" column has any checks, and a lead hazard screen is to be performed, describe below the extenuating circumstances that justify conducting a lead hazard screen.

**Notes (including other conditions of concern):**



**Form 5.2 Report of Visual Assessment (for Lead Hazard Risk Assessment).**

Property address 297 Cottontail Lane - Robbinsville, NC Apt. No. 1 of 1 Page 1 of 1

Name of property owner Faye Waldroup

Name of risk assessor Josh Smathers Date of assessment 5/22/23

Area Description		Deteriorated Paint			Friction Or Impact Surface? (F or I)	Visible Teeth Marks? (Y or N)	Paint Testing Results <sup>4</sup>	Notes [e.g., paint testing (e.g., XRF, lab analysis) indicates paint is or is not lead-based paint; causes(s) of hazard control failures]
Location of Building Component, dust or Bare Soil	Building Component, Dust, or Bare Soil Play Area/ Non-Play Area	Area (sq. ft.)	Is Area Small? <sup>2</sup> (Y or N)	Probable Cause(s) of Deterioration if Known <sup>3</sup>				
Exterior	Walls, Sills, Joints	1,200	N	Weathering	N	N		
Exterior	Bare Soil	250	N	Foot Traffic	N	N		
Interior	All	5,000	N	Age	N	N		

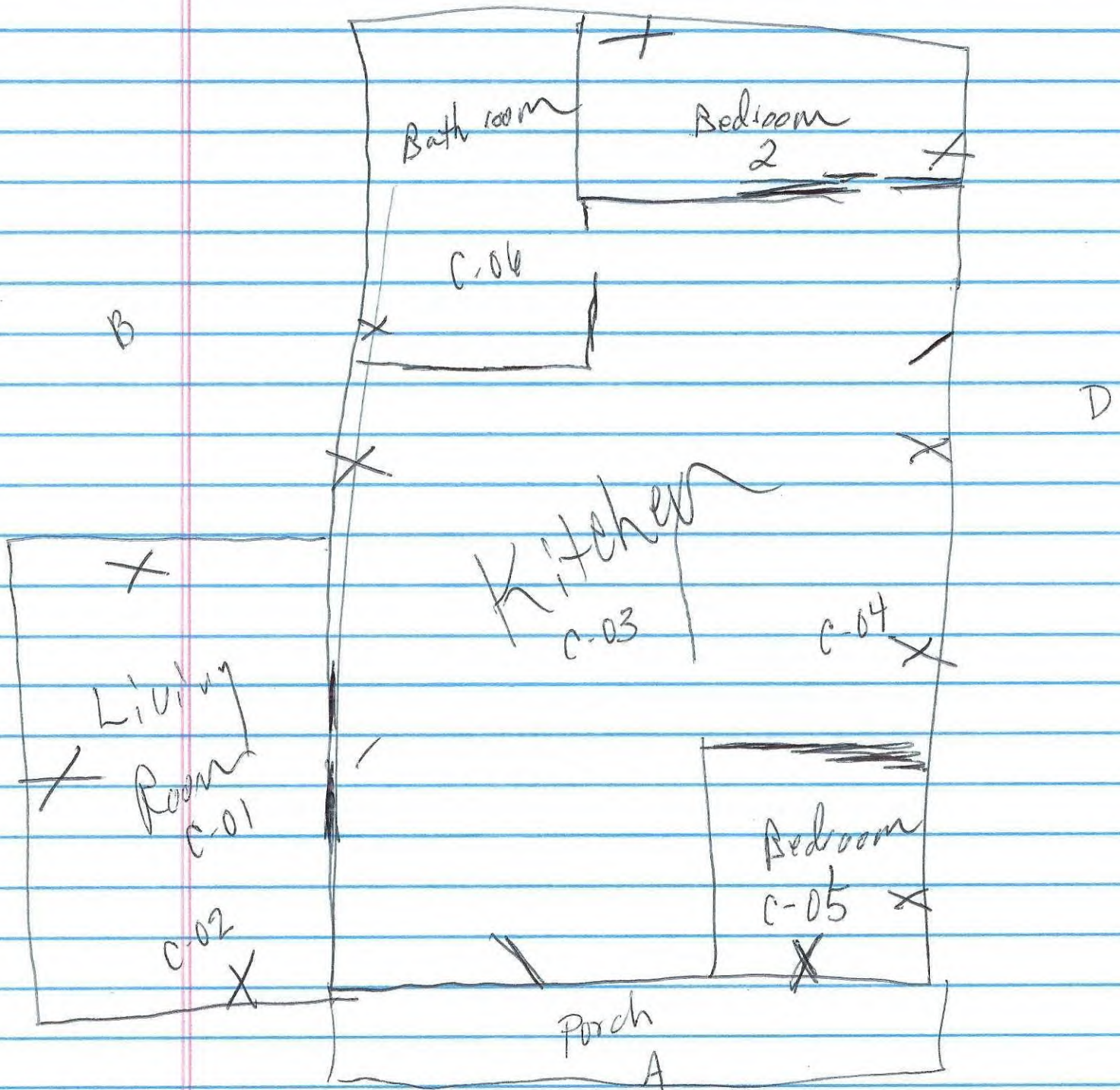
<sup>1</sup> Include room equivalent or exterior side or wall, as appropriate.  
<sup>2</sup> Lead-safe work practices and clearance/cleaning verification are not required if work does not disturb painted surfaces that total more than  
 ❖ For assisted housing: HUD's *de minimis* area of: 20 ft<sup>2</sup> or less on exterior surfaces, 2 ft<sup>2</sup> or less in any one interior room or space, or 10 percent of the total surface area on an interior or exterior type of component with a small surface area (such as trim, window sills, baseboards);  
 ❖ For unassisted housing, and for child-occupied facilities, EPA's minor repair and maintenance activities threshold of 6 ft<sup>2</sup> or less per room; or 20 ft<sup>2</sup> or less for exterior activities; provided that no prohibited or restricted work practices were used and no window replacement or demolition of painted surface areas is to be done.  
<sup>3</sup> Common causes of paint deterioration are: moisture (indicate source if apparent), mildew, friction or abrasion, impact, damaged or deteriorated substrate, and severe heat.  
<sup>4</sup> If paint testing results are obtained on site, use this column to record the result. If a paint chip sample is sent to the laboratory, use this column to record the sample number (or other unique identifier) as a reference to another record containing the sampling data and laboratory results.



297 Cottontail Lane - Robbinsville, NC

5/22/23

C



Metal unfinished windows in most areas



# MATRIX

Health & Safety Consultants, L.L.C.

May 30, 2023

Graham County  
196 Knight Street  
Robbinsville, North Carolina 28771

Attention: Jason Marino

Subject: Sampling to Identify Asbestos-Containing Materials  
297 Cottontail Lane  
Robbinsville, NC 28771  
Matrix Job Number: 230566

Dear Mr. Marino:

Matrix Health and Safety Consultants, L.L.C. (Matrix) is pleased to present this report of the survey to identify asbestos-containing materials at the referenced project site. This report presents known project information, survey procedures and survey results.

Matrix understands the residence is scheduled for renovations in the near future. In order to facilitate the renovations, Matrix performed a survey to determine the existence of asbestos-containing materials.

## **SURVEY PROCEDURES**

The survey was performed on May 22, 2023, by Suzanne Hinson (North Carolina Asbestos Inspector No. 12395). The survey began with a walk-through of the residence observing accessible areas for the presence of suspect asbestos-containing materials. Both friable and nonfriable suspect asbestos-containing materials were considered during the course of the survey. Friable materials are those materials which can be pulverized or reduced to powder by hand pressure. A sampling strategy was determined and bulk samples of suspect ACM were obtained. Suspect ACM's were grouped based on material homogeneity. A homogeneous area is an area which contains materials that seem by texture, color and wear to be uniform and applied during the same general time period.

To determine the presence or absence of asbestos content in the suspect materials, samples were collected and transported to Scientific Analytical Institute, Inc. located in Greensboro, North Carolina under chain-of-custody documentation for laboratory analysis. The collected samples were placed into individual sample containers, sealed and a unique identification number was assigned to the sample container at the time of collection. The identification included the sample collection date and location. This information was logged on our Asbestos Bulk Sampling Record and submitted to the laboratory.

## **ANALYSIS PROCEDURES AND RESULTS**

The collected asbestos samples were analyzed using Polarized Light Microscopy (PLM) in conjunction with dispersion staining techniques using EPA Method 600/M4-82-020 and EPA Method 600/R93/116 per 40 CFR 763.

The bulk laboratory analysis provided the asbestos content (positive or negative), percentage of asbestos, asbestos type and identification of other non-asbestos fibers. A material is considered to be asbestos-containing if greater than 1% asbestos is found in the material.

**Asbestos-Containing Material Inspection Summary**

<b>SAMPLE NUMBER</b>	<b>MATERIAL</b>	<b>GENERAL LOCATION</b>	<b>TYPE AND PERCENTAGE OF ASBESTOS PRESENT</b>
297-1 297-2	Textured Ceiling	Throughout	None Detected
297-3 297-4	12"x12" Floor Tiles	Bedroom 1	None Detected
297-5 297-6	12"x12" Gray with White Floor Tile	Kitchen	None Detected
<b>297-7 297-8</b>	<b>Penetration Mastic and Flashing</b>	<b>Rooftop</b>	<b>4% Chrysotile</b>
297-9 297-10	Silver Roof Coating	Roof Under Green Metal	None Detected
<b>297-11 297-12</b>	<b>Original Window Caulking</b>	<b>Mobile Home Windows</b>	<b>5% Chrysotile</b>

Analysis Method: PLM with Dispersion Staining  
NAD: No Asbestos Detected

The National Emissions Standard for Hazardous Air Pollutants (NESHAP) requires the removal of asbestos-containing materials prior to renovation or demolition activities. Matrix recommends asbestos removal be performed by a qualified asbestos abatement contractor, using North Carolina accredited personnel, in accordance with applicable federal and state regulations governing the removal of asbestos-containing materials.


OSHA regards materials with any amount of asbestos to be a potential exposure hazard if the material is disturbed. Therefore, work practices specified in the OSHA Standard (CFR 29 1926.1101) must be followed if the materials are disturbed, removed or demolished. Proper training, hazard communication and personal protection measures are also required as specified in the OSHA Standards.

This report summarizes Matrix's evaluation of the conditions observed at the subject storage room during the course of the survey. Our findings are based upon our observations at the storage room and analyses of the samples obtained at the time of this survey. Additional asbestos-containing materials may exist (undetected) in other portions of the target rooms due to inaccessibility or due to an undetectable change in materials. Any conditions discovered which deviate from the data contained in this report should be presented to us for our evaluation.

Matrix appreciates the opportunity to have provided these services. We would be glad to discuss any of the results contained in this report, at your convenience. If there are any questions concerning this report or results, please contact us.

Sincerely,

**MATRIX HEALTH AND SAFETY CONSULTANTS, L.L.C.**



C. Britt Wester, CIH  
Principal

Attachments: Laboratory Analysis Report

# **Laboratory Analysis Report**



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023938

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 297 Cottontrail Lane-Robbinsville

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
297-01 - A	Ceiling texture with wallboard	None Detected	7% Cellulose	93% Other	White Fibrous Homogeneous
10023938_0001	texture				Dissolved
297-01 - B	Ceiling texture with wallboard	None Detected	10% Cellulose	90% Gypsum	White Fibrous Homogeneous
10023938_0013	drywall				Dissolved
297-02 - A	Ceiling texture with wallboard	None Detected	7% Cellulose	93% Other	White Fibrous Homogeneous
10023938_0002	texture				Dissolved
297-02 - B	Ceiling texture with wallboard	None Detected	10% Cellulose	90% Gypsum	White Fibrous Homogeneous
10023938_0014	drywall				Dissolved
297-03 - A	Tan 12"x12" peel & stick x2	None Detected		100% Other	Yellow Non-Fibrous Homogeneous
10023938_0003	peel & stick 1 inseparable mastic				Ashed
297-03 - B	Tan 12"x12" peel & stick x2	None Detected		100% Other	Tan Non-Fibrous Homogeneous
10023938_0015	peel & stick 2 inseparable mastic				Ashed
297-03 - C	Tan 12"x12" peel & stick x2	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023938_0016	peel & stick 3 inseparable mastic				Ashed
297-04 - A	Tan 12"x12" peel & stick x2 2 layers	None Detected		100% Other	Yellow Non-Fibrous Homogeneous
10023938_0004	peel & stick 1 inseparable mastic				Ashed

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogenous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Nicholas Pallares (20)

Analyst

Approved Signatory





# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and  
40 CFR, Part 763, Subpart E, App.E



**Customer:** Matrix Health & Safety Consultants  
2900-B Yonkers Rd.  
Raleigh, NC 27604

**Attn:** Britt Wester

**Lab Order ID:** 10023938

**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 297 Cottontrail Lane-Robbinsville

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
297-04 - B	Tan 12"x12" peel & stick x2 2 layers	None Detected		100% Other	Tan Non-Fibrous Homogeneous
10023938_0017	peel & stick 2 inseparable mastic				Ashed
297-04 - C	Tan 12"x12" peel & stick x2 2 layers	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023938_0018	peel & stick 3 inseparable mastic				Ashed
297-05 - A	Gray 12"x12" with white underlying tile	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023938_0005	tile				Ashed
297-05 - B	Gray 12"x12" with white underlying tile	None Detected		100% Other	White Non-Fibrous Homogeneous
10023938_0020	mastic				Ashed
297-06 - A	Gray 12"x12" with white underlying tile 2 layers	None Detected		100% Other	Gray Non-Fibrous Homogeneous
10023938_0006	tile				Ashed
297-06 - B	Gray 12"x12" with white underlying tile 2 layers	None Detected		100% Other	White Non-Fibrous Homogeneous
10023938_0021	mastic				Ashed
297-07	Black penetration mastic	4% Chrysotile	3% Cellulose	93% Other	Black Fibrous Homogeneous
10023938_0007					Ashed
297-08	Black penetration mastic	4% Chrysotile	3% Cellulose	93% Other	Black Fibrous Homogeneous
10023938_0008					Ashed

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**Analysis:** PLM

**Date Received:** 05/23/2023

**Date Reported:** 05/24/2023

**Project:** 297 Cottontrail Lane-Robbinsville

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
297-09	Cool seal on existing roof	None Detected		100% Other	Silver, Black Non-Fibrous Homogeneous
10023938_0009					Ashed
297-10	Cool seal on existing roof	None Detected		100% Other	Silver, Black Non-Fibrous Homogeneous
10023938_0010					Ashed
297-11	Original mobile home window caulking	3% Chrysotile	5% Cellulose	92% Other	Tan Fibrous Homogeneous
10023938_0011					Ashed, Dissolved
297-12	Original mobile home window caulking	3% Chrysotile	5% Cellulose	92% Other	Tan Fibrous Homogeneous
10023938_0012					Ashed, Dissolved

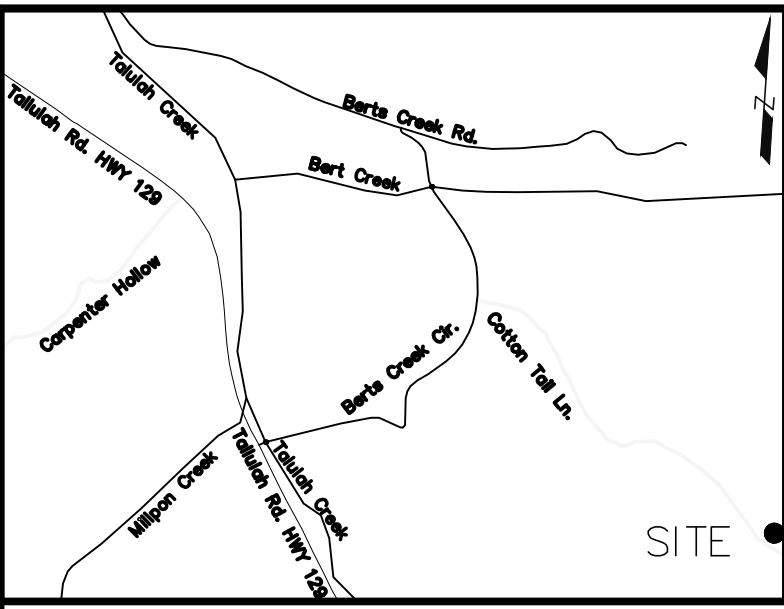
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Nicholas Pallares (20)

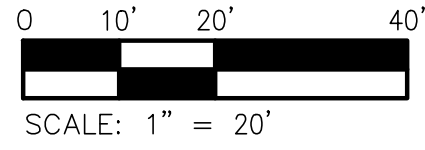
Analyst

Approved Signatory





VICINITY MAP  
NOT TO SCALE



LEGEND

- SET #5 REBAR WITH CAP (UNLESS NOTED)
- RECOVERED PROPERTY CORNER AS NOTED
- CALCULATION POINT (NOTHING SET)
- UTILITY POLE
- ^ GUY WIRE
- ^ RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- DI DROP INLET
- EM ELECTRICAL METER
- CO CLEAN OUT
- GM GAS METER
- BOLLARD
- SD STORM WATER LINES
- T OVERHEAD TELEPHONE LINE
- E OVERHEAD ELECTRIC LINE
- PL PROPERTY LINE
- - - DEED LINE (NOT SURVEYED)

- SURVEYOR NOTES:**
1. THIS PROPERTY IS SUBJECT TO ANY EASEMENTS OR RIGHTS OF WAYS (WRITTEN OR UNWRITTEN).
  2. THE PROPERTY OR PROPERTIES DISPLAYED WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT SHOW ALL EASEMENTS, RIGHTS OF WAYS, RESTRICTIONS, ENCUMBRANCES, ETC. THAT WOULD BE REVEALED BY A CURRENT AND THOROUGH EXAMINATION OF TITLE BY A NC LICENSED ATTORNEY-AT-LAW. THIS SURVEY SHALL NOT BE CONSIDERED A CERTIFICATION ON OWNERSHIP, ZONING, TITLE, OR GUARANTEE THAT THE SUBJECT IS FREE FROM ENCUMBRANCES.
  3. THIS SURVEY IS SUBJECT TO ANY AND ALL UNDERGROUND UTILITIES THAT MAY EXIST. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE GROUND STRUCTURES AND APPURTENANCES. THIS SURVEYOR MAKES NO CERTIFICATION TO THE EXISTENCE/NON-EXISTENCE OF UNDERGROUND UTILITIES, STORAGE FACILITIES, OR OTHER UNDERGROUND STRUCTURES AND LINES. DIAL 811 BEFORE DIGGING.
  4. ADJOINING PROPERTY OWNER INFORMATION TAKEN FROM THE GRAHAM COUNTY GIS WEBSITE AND DEEDS AND PLATS OF RECORD AS NOTED
  5. CORNERS AS NOTED ON MAP
  6. AREA SHOWN HEREON WAS COMPUTED BY THE COORDINATE METHOD.
  7. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US FEET UNLESS OTHERWISE NOTED.
  8. BY GRAPHICAL LOCATION, SUBJECT PROPERTY IS IN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE OF A FLOODPLAIN PER FIMA MAP NO. 370055 PANEL 8900, SUFFIX J EFFECTIVE DATE 2/18/2009, IS NOT IN A SPECIAL FLOOD HAZARD AREA.

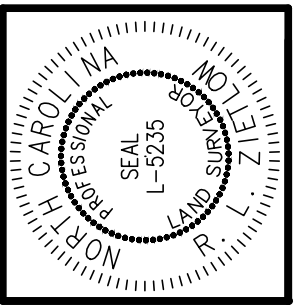
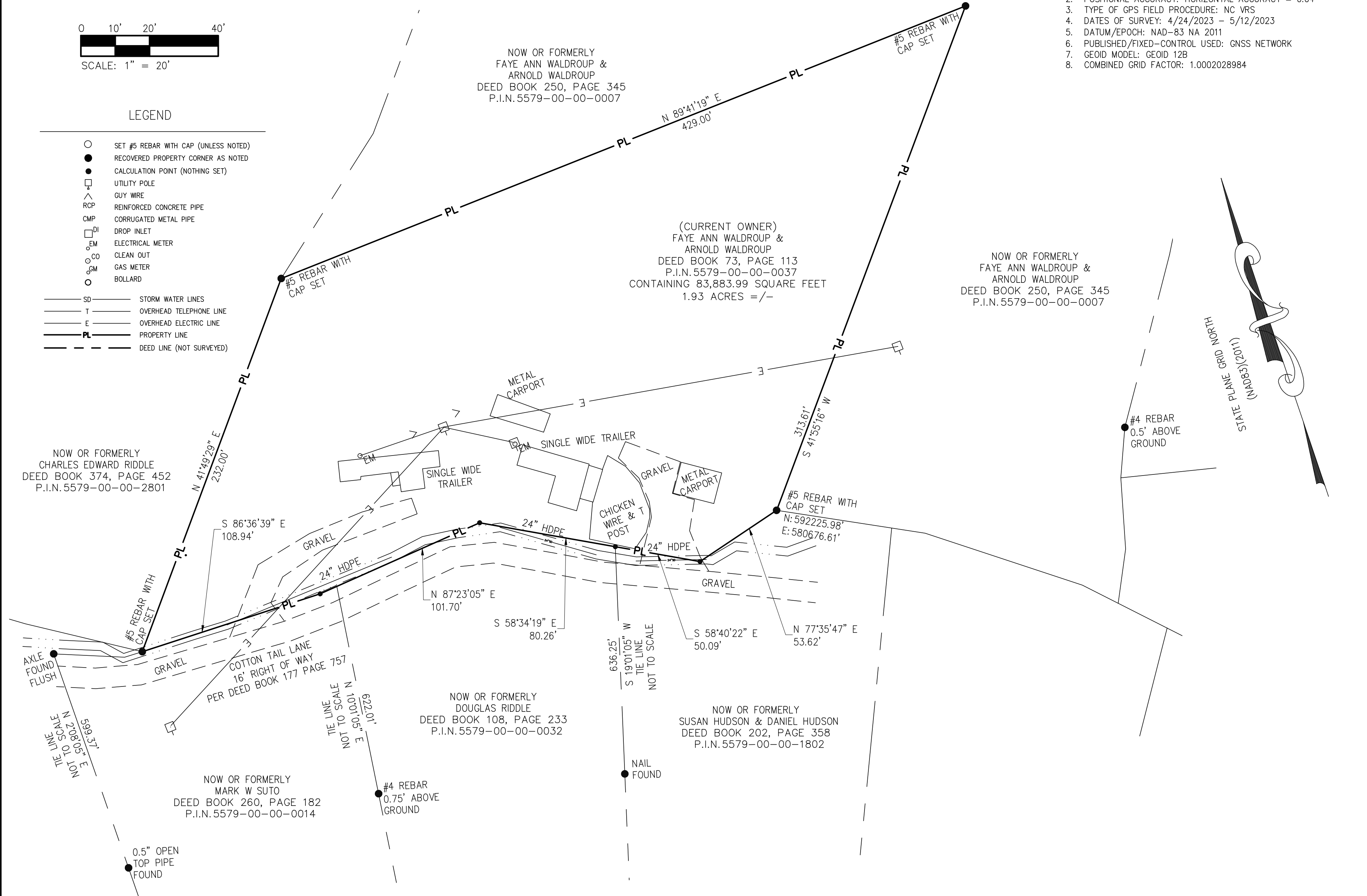
I hereby certify that the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street.

I, Ron L. Zietlow, P.L.S., certify that this plat was drawn under my supervision from an actual survey; that the boundaries not surveyed are clearly indicated as drawn from information found in book n/a, page n/a, that the ratio of precision as calculated is 1:10,000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 15<sup>th</sup> day of May, 2023.

*Ron Zietlow*  
RON L. ZIETLOW, PLS  
REG. NO. L-5235

GLOBAL POSITIONING CERTIFICATION (RTK)

1. CLASS OF SURVEY: CLASS A – RATIO OF PRECISION 1/10,000
2. POSITIONAL ACCURACY: HORIZONTAL ACCURACY = 0.04'
3. TYPE OF GPS FIELD PROCEDURE: NC VRS
4. DATES OF SURVEY: 4/24/2023 – 5/12/2023
5. DATUM/EPOCH: NAD-83 NA 2011
6. PUBLISHED/FIXED-CONTROL USED: GNSS NETWORK
7. GEOID MODEL: GEOID 12B
8. COMBINED GRID FACTOR: 1.0002028984



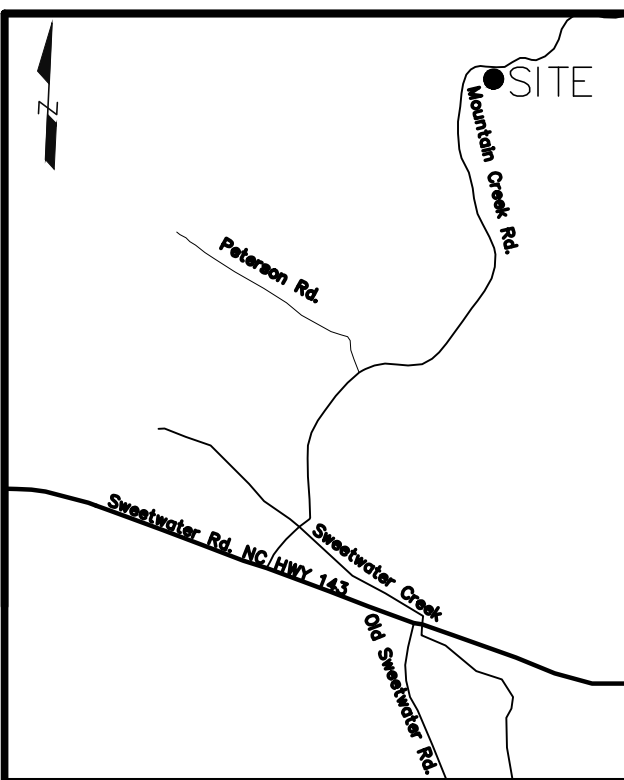
Date

Issue Date: 5/15/23	Drawn By: RLZ	Checked By: RLZ
Designed By:		
Date: 5/15/23		

**Matern & Craig**  
ENGINEERS/SURVEYORS  
12 BRAD ST.  
ASHEVILLE, NORTH CAROLINA 28806  
(828) 254-2201  
FAX (828) 254-4562

297 COTTON TAIL LN.  
ROBBINSVILLE, GRAHAM COUNTY, NC  
CURRENT OWNER: FAYE ANN WALDROUP  
& ARNOLD WALDROUP

Vertical Scale: NA
Horizontal Scale: 1"=40'
Commission Number: <b>4433</b>
Sheet No.: <b>1</b>



VICINITY MAP  
NOT TO SCALE

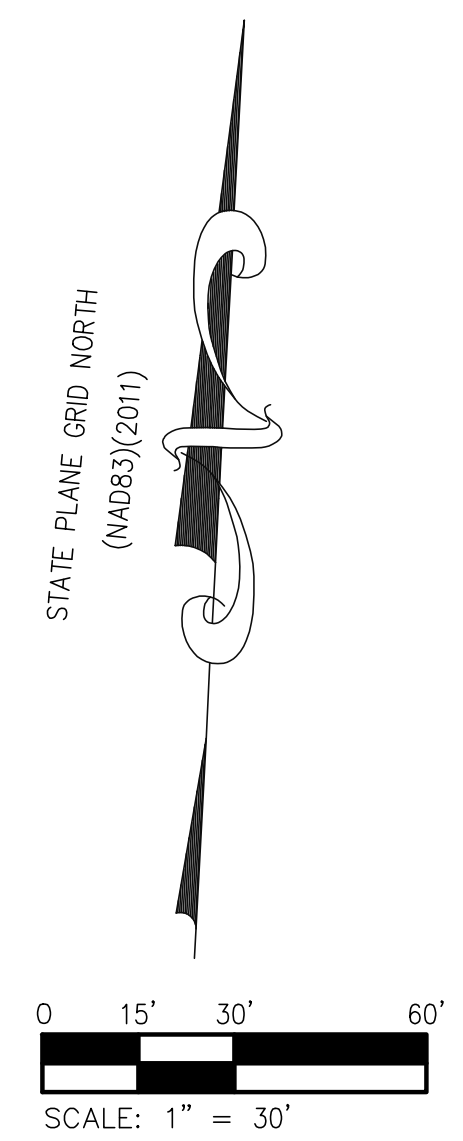
**SURVEYOR NOTES:**

1. THIS PROPERTY IS SUBJECT TO ANY EASEMENTS OR RIGHTS OF WAYS (WRITTEN OR UNWRITTEN).
2. THE PROPERTY OR PROPERTIES DISPLAYED WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT SHOW ALL EASEMENTS, RIGHTS OF WAYS, RESTRICTIONS, ENCUMBRANCES, ETC. THAT WOULD BE REVEALED BY A CURRENT AND THOROUGH EXAMINATION OF TITLE BY A NC LICENSED ATTORNEY-AT-LAW. THIS SURVEY SHALL NOT BE CONSIDERED A CERTIFICATION ON OWNERSHIP, ZONING, TITLE, OR GUARANTEE THAT THE SUBJECT IS FREE FROM ENCUMBRANCES.
3. THIS SURVEY IS SUBJECT TO ANY AND ALL UNDERGROUND UTILITIES THAT MAY EXIST. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE GROUND STRUCTURES AND APPURTENANCES. THIS SURVEYOR MAKES NO CERTIFICATION TO THE EXISTENCE/NON-EXISTENCE OF UNDERGROUND UTILITIES, STORAGE FACILITIES, OR OTHER UNDERGROUND STRUCTURES AND LINES. DIAL 811 BEFORE DIGGING.
4. ADJOINING PROPERTY OWNER INFORMATION TAKEN FROM THE GRAHAM COUNTY GIS WEBSITE AND DEEDS AND PLATS OF RECORD AS NOTED
5. CORNERS AS NOTED ON MAP
6. AREA SHOWN HEREON WAS COMPUTED BY THE COORDINATE METHOD.
7. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US FEET UNLESS OTHERWISE NOTED.
8. BY GRAPHICAL LOCATION, SUBJECT PROPERTY IS IN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE OF A FLOODPLAIN PER FIMA MAP NO. 370056 PANEL 7100, SUFIX K EFFECTIVE DATE 4/19/2010, IS NOT IN A SPECIAL FLOOD HAZARD AREA.

I HEREBY CERTIFY THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

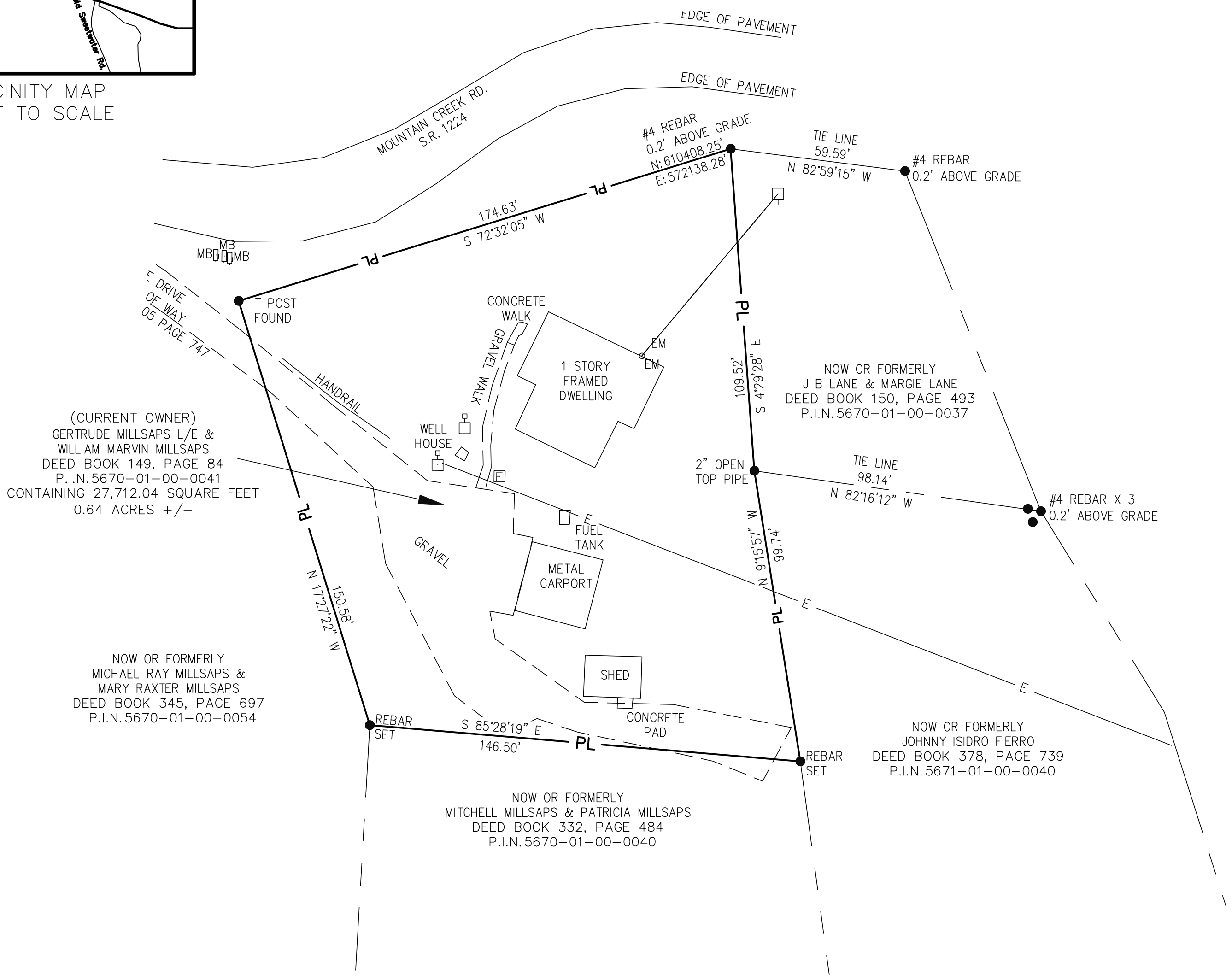
I, RON L. ZIETLOW, P.L.S., CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK N/A, PAGE N/A, THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 15<sup>TH</sup> DAY OF MAY, 2023.

*Ron Zietlow*  
RON L. ZIETLOW, PLS  
REG. NO. L-5235



**LEGEND**

- SET #5 REBAR WITH CAP (UNLESS NOTED)
- RECOVERED PROPERTY CORNER AS NOTED
- CALCULATION POINT (NOTHING SET)
- UTILITY POLE
- > GUY WIRE
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- T OVERHEAD TELEPHONE LINE
- E OVERHEAD ELECTRIC LINE
- PL PROPERTY LINE
- - - DEED LINE (NOT SURVEYED)



(CURRENT OWNER)  
GERTRUDE MILLSAPS L/E &  
WILLIAM MARVIN MILLSAPS  
DEED BOOK 149, PAGE 84  
P.I.N. 5670-01-00-0041  
CONTAINING 27,712.04 SQUARE FEET  
0.64 ACRES +/-

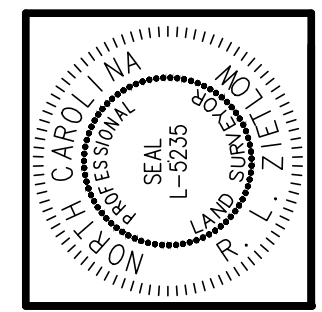
NOW OR FORMERLY  
MICHAEL RAY MILLSAPS &  
MARY RAXTER MILLSAPS  
DEED BOOK 345, PAGE 697  
P.I.N. 5670-01-00-0054

NOW OR FORMERLY  
MITCHELL MILLSAPS & PATRICIA MILLSAPS  
DEED BOOK 332, PAGE 484  
P.I.N. 5670-01-00-0040

NOW OR FORMERLY  
JOHNNY ISIDRO FIERRO  
DEED BOOK 378, PAGE 739  
P.I.N. 5671-01-00-0040

**GLOBAL POSITIONING CERTIFICATION (RTK)**

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8. COMBINED GRID FACTOR: 1.0002028984



Date	Revisions

Issue Date: 5/15/23	Drawn By: RLZ	Checked By: RLZ
	Designed By:	Date: 5/15/23

**Matern & Craig**  
ENGINEERS/SURVEYORS  
12 BROAD ST.  
ASHEVILLE, NORTH CAROLINA 28806  
(828) 254-2201  
FAX (828) 254-4562

708 MOUNTAIN CREEK RD.  
ROBBINSVILLE, GRAHAM COUNTY, NC  
CURRENT OWNER: GERTRUDE MILLSAPS L/E  
& WILLIAM MARVIN MILLSAPS

Vertical Scale:  
NA

Horizontal Scale:  
1"=30'

Commission Number:  
**4433**

Sheet No.:  
**1**